

**Town of Barnstable**  
**Old King's Highway Historic District Committee**  
200 Main Street, Hyannis, Massachusetts 02601  
Telephone (508) 862-4787, Email [grayce.rogers@town.barnstable.ma.us](mailto:grayce.rogers@town.barnstable.ma.us)



**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

Application is hereby made, with six (6) complete, colored sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 40A, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Date

Jan 24, 2022

Map & Parcel

PLAN REF. EX 50 PG 7

Property Owner

R + E ENTERPRISES

Phone

Street address

3219 Main Street

Village

BARNSTABLE

Email

Mailing address

502 1/2 ESTADAST ENGWOOD RD 34223

Agent/Contractor

Phone

Agent Address

Email

Agent Signature

*[Signature]*

*[Signature]*

If approved, the Certificate of Appropriateness expires one year from the stamped approval date or upon the expiration of a Building Permit, whichever date shall be later. A one year extension may be requested, in writing, to the Old King's Highway Administrative Assistant at 200 Main Street, Hyannis, MA 02601. This request must be received prior to the date of expiration.

There is a 10 day appeal period plus a four day waiting period for all applications after which time your approval paperwork will be available for pickup and building permit sign-off. All applications are subject to meeting any applicable building code requirements.

<input type="checkbox"/> New Build	<input type="checkbox"/> Additi	<input type="checkbox"/> Check all categories that apply	<input type="checkbox"/> Residential
<input type="checkbox"/> House	<input type="checkbox"/> Garage	<input type="checkbox"/> Barn	<input type="checkbox"/> Shed
<input type="checkbox"/> Roof	<input type="checkbox"/> Windows/Doors	<input type="checkbox"/> Siding/Painting	<input type="checkbox"/> Solar
<input type="checkbox"/> Fence	<input type="checkbox"/> Wall	<input type="checkbox"/> Flag Pole	<input type="checkbox"/> Pool
<input type="checkbox"/> New Sign	<input checked="" type="checkbox"/> Replace Sign	<input type="checkbox"/> Repaint Sign	<input type="checkbox"/> Other

Description of Proposed Work

Remove existing signage to be replaced by our logo sign. This information as to size and colors and the rest has been submitted to the building dept for review

DENIED

for Committee use only

This Certificate is hereby

APPROVED

By a vote of

Ave

Nav

Abstain

Date

Members signatures

Conditions of Approval



# NEW BUILDINGS, ADDITION, OR COMMERCIAL BUILDING CHECKLIST - CERTIFICATE OF APPROPRIATENESS

*Submit Six (6) complete colored sets, unless otherwise noted*

## Application for Certificate of Appropriateness

Spec Sheet, brochures or diagram

### Site Plan

- Name of applicant, street location, map and parcel
- Name of architect, engineer, or surveyor; original stamp & signature; date of plan & revision dates
- North arrow, written and drawn to scale
- Changes to existing grades shown with one-foot contours
- Proposed & existing footprint of building and/or structures, and distance to lot lines
- Proposed driveway location
- Proposed limits of clearing for building (s), assessor structure (s), driveway and septic system
- Retaining walls or accessory structures (e.g. pool, tennis court, cabana, barn, garage, etc)

### Building Elevations

- Plans at scale of 1/4" = 1 foot; a written drawn scale
- Plans at a reduced scale to fit 8.5"x11 or 11x17 paper
- Name of applicant, street location, map and parcel
- Name of Building Designer, or architect; original signature of plan preparer and stamp; plan date, and all revision dates.

*\*All new house or commercial building plans must have an original signature and stamp, if any, by a registered Architect, member of AIBD, or a licensed Massachusetts Home Improvement Contractor, unless this requirement is waived by the Old King's Highway Historic District Committee.*

A written and bar drawn scale

Elevations of all (affected) sides of the building, with dimensions including height from the natural grade adjacent to the

Building to the top of the ridge; location and elevation of finished grade, roof pitch (s) dormer setbacks; trim style, window

And door styles. Changes to existing building must be clouded on drawings.

Window schedule on plans

### Landscape Plan (drawn on a certified perimeter plan containing the following)

- Name of applicant, street address, assessor's map and parcel number
- Name, address, and telephone number of the plan preparer, plan date, & date of revisions
- The location of existing and proposed buildings and structures, and lot lines
- Natural features of site (i.e. rock outcroppings, streams, wetlands, etc)
- Existing buffer areas to remain
- Location and species of trees and plants
- Driveway, parking areas, walkways, and patios, indicating materials to be used
- Existing stone walls, and proposed walls including retaining walls for slope retention or septic systems

*For removal of stone walls, you must file a demolition application*

All proposed exterior lighting and signs

### Sketch or Photos of adjacent properties

- A sketch (s) to scale or photographs of nearby adjacent buildings, where present, along both sides of the street frontage,
- Showing the proposed new house or commercial building in scale and in relationship to the existing buildings.
- Please discuss with staff if you do not think this is relevant to your application.*

### Photographs of all sides of existing buildings to remain or being added to

#### Existing building, foot print

Building 1 (sq. ft.)

Building 2 (sq. ft.)

#### Existing building, gross floor area, including area of finished basement

Building 1 (sq. ft.)

Building 2 (sq. ft.)

#### New Building or addition, foot print

Building 1 (sq. ft.)

Building 2 (sq. ft.)

#### New Building or addition, gross floor area, including area of finished basement

Building 1 (sq. ft.)

Building 2 (sq. ft.)

plan preparer, signature and date



## CHECKLIST – CERTIFICATE OF APPROPRIATENESS

*Please complete the Checklist that is applicable to your project.*

*Submit six (6) complete colored sets, unless otherwise noted*

### FEES

- .... Filing Fee according to fee schedule, please make checks payable to the Town of Barnstable
- .... Legal Ad fee, in the amount of **\$19.84**, made payable to the Town of Barnstable
- .... First Class Postage Stamps for abutter notification. Please contact Barnstable Old King's Highway Office for correct count

### ALTERATIONS *(new paint color, change of siding material, roofing, windows, doors, shutters, etc)*

- .... Application for Certificate of Appropriateness
- .... Spec Sheet, brochures and color samples
- .... Plans of building elevations/photographs, ONLY if there is a change to the location and size of the window (s) or Door (s).

### MINOR ADDITIONS *(decks, enclosing a porch, sheds (over 120 sqft)*

- .... Application for Certificate of Appropriateness, **NA**
- .... Spec Sheet, brochures and color samples
- .... Site Plan, ONLY if there are changes to the footprint *(see site plan criteria below)*
  - A site plan drawn on a mortgage survey plan or GIS map may be used for minor additions, UNLESS the porch, deck, pool, or Shed etc. is close to lot lines, zoning setback lines, or other buildings, in which case a certified site plan must be submitted
- .... Photographs of all building elevation affected by any proposed alterations
- .... Plans 2 full scale plans, plus 4 copies of the plan at reduced scale to fit 8.5x11 or 11x17 paper
  - Company brochure of manufacturers shed or to-scale sketch **or** affected structure or building elevations

### ACCESSORY STRUCTURES, NEW/ALTERED *(fences, new stonewalls, changes to retaining walls, pools etc)*

- .... Application for Certificate of Appropriateness
- .... Spec Sheet, brochures &/or diagram
- .... Site Plan *(see site plan criteria below)*
- .... Photographs of any existing structure that will be affected by the change

### SIGNS *(complete sign supplement)*

- .... Rendering of the proposed sign, showing graphics, dimensions, design and height of post, color, and materials
- .... Site Plan on GIS map or mortgage survey, or photographs, or to-scale sketch of building elevation showing location of Proposed sign; and any tree to be removed near a freestanding sign *(see below for site plan criteria)*

### SOLAR PANELS *(complete solar panel supplement)*

- .... Drawing of locations of panels on house showing roof and panel dimensions
- .... Site Plan showing location of building **on property** *(see site plan criteria below)*

### SITE PLAN CRITERIA

- .... Name of applicant, street location, map and parcel
- .... Name of architect, engineer, or surveyor; original stamp & signature; date of plan & revision dates
- .... North arrow, written and drawn to scale
- .... Changes to existing grades shown with one-foot contours
- .... Proposed & existing footprint of building and/or structures, and distance to lot lines
- .... Proposed driveway location
- .... Proposed limits of clearing for building (s), assessor structure (s), driveway and septic system
- .... Retaining walls or accessory structures (e.g. pool, tennis court, cabana, barn, garage, etc)



# CERTIFICATE OF APPROPRIATENESS - SPEC SHEET

## CHIMNEY

## ROOF

Material	Color
Make & style	Color
Roof Pitch (s) - (7/12 minimum)	Color

## GUTTER

Type/Material	(specify on plans for new building & major additions)	Color
---------------	---	-------

## WINDOWS, DOORS, TRIM, SHUTTERS, SKYLIGHTS

### Window/Door Trim material

Wood

Size of cornerboards

Rakes 1<sup>st</sup> member

2<sup>nd</sup> Member

Size of casings (1X4 min)

Other specify

### Windows:

Make/Model

### Window Grills

Divided Light

Removable Interior Grills

### Doors:

Style & Make

### Garage doors:

Style

Color

Size of opening

### Shutters:

Type & Style

### Skylights:

Type

Material

## SIDING

Type

Clapboard

Shingle

Material

Red Cedar

White Cedar

Paint Color

## FOUNDATION

Type

(max 12' exposed)

## DECK

Material

Color

## SIGNS

Size

30" round

Materials

Wood

Color gold, black, red

## FENCE

Type (split rail, chain link)

Material

Color

Length

## RETAINING WALL

Description

## LIGHTING

Type and location (free standing affixed to structure, illuminated)



## SOLAR PANEL SUPPLEMENT

### STRUCTURE ONE

#### STRUCTURE TYPE

Home ☐

Garage ☐

Barn ☐

#### ELEVATION PLACEMENT

North ☐

South ☐

East ☐

West ☐

#### ROOF MEASUREMENTS

Length

Height

Pitch

#### SOLAR PANEL MEASUREMENTS

Length

Depth

Width

#### SOLAR PANEL TYPE & FINISH

Color

Finish (matte or glossy)

### STRUCTURE TWO

#### STRUCTURE TYPE

Home ☐

Garage ☐

Barn ☐

#### ELEVATION PLACEMENT

North ☐

South ☐

East ☐

West ☐

#### ROOF MEASUREMENTS

Length

Height

Pitch

#### SOLAR PANEL MEASUREMENTS

Length

Depth

Width

#### SOLAR PANEL TYPE & FINISH

Type

Roof Mounted ☐

Ground Mounted ☐

Canopy/Carport System ☐

Color

Finish (matte or glossy)

Company

representative

Print Name

Signature

Phone



PROJECT TYPE

SIGN SUPPLEMENT

New ☒

Minor Change to Existing Sign ☐

Replace Existing Color ☐

Replace Existing Sign with New ☐

MOUNTING TYPE

Post Mount ☒

(existing)

Post Mount Installation Type

Surface Installation ☐

Direct Burial Installation ☐

Wall/Surface Mount ☐

Mounting type

Elevation affixed to

AESTHETICS

Size

30" round

Material

wood

Lettering (style)

4" raised

Color

red

Post/Mount Material

existing black metal

Color

black

Height to Crossbar

7'

Single Faced ☐

Double Faced ☒

LIGHTING

Will the sign be lit

Yes ☐

No ☒

Type of Lighting

Placement of Lighting

ADDITIONAL INFORMATION



**Legend**

- Parcels
- Town Boundary
- + Railroad Tracks
- Buildings
  - Approx. Building
  - Buildings
- Painted Lines
- Parking Lots
  - Paved
  - Unpaved
- Driveways
  - Paved
  - Unpaved
- Roads
  - Paved Road
  - Unpaved Road
- Bridge
  - Paved Median
- Streams
- Marsh
- Water Bodies

Map printed on: 2/9/2022

0 83 167 Feet

Approx. Scale: 1 inch = 83 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.

**Town of Barnstable GIS Unit**

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



## Legend

Road Names



Map printed on: 2/9/2022

0 42 83 Feet

Approx. Scale: 1 inch = 42 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



Property ID: 299022  
TR 3225 MAIN STREET LLC  
C/O TURTLE ROCK LLC  
231 WILLOW STREET  
YARMOUTHPORT. MA 02675

Property ID: 299023  
RUBY SLIPPERS LLC  
PO BOX 194  
HYANNIS PORT. MA 02647

Property ID: 299023001  
CROSBY. FREEMAN M TR  
CROSBY FAMILY FLORIDA TR AGREEMENT  
502 1/2 ESTADA STREET  
ENGLEWOOD. FL 34223

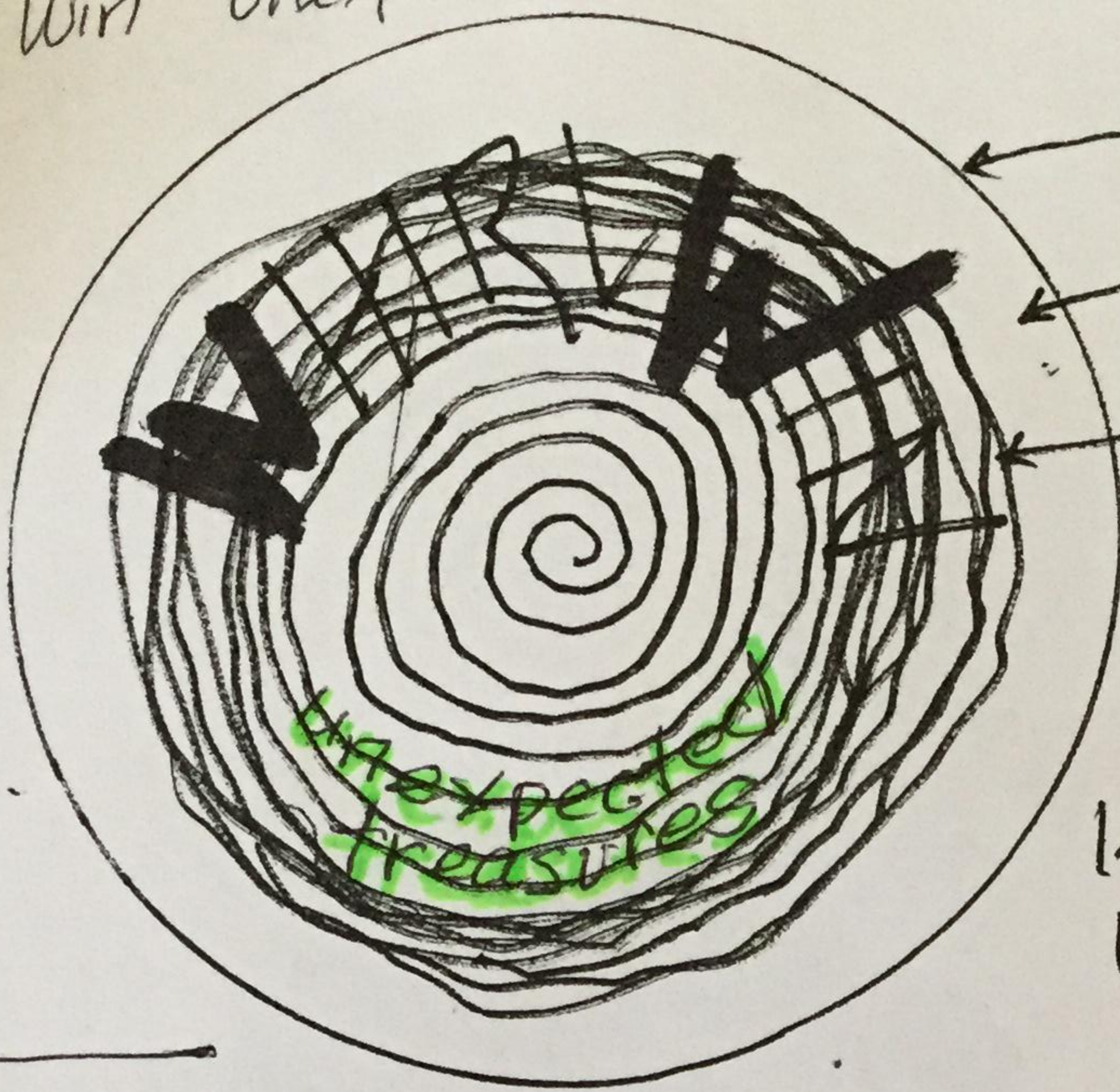
Property ID: 299024  
BARNSTABLE. COUNTY OF  
3195 MAIN STREET  
BARNSTABLE. MA 02630

Property ID: 300010  
3220 MAIN STREET LLC  
C/O TURTLE ROCK LLC  
231 WILLOW ST  
YARMOUTHPORT. MA 02675



# Graphic of Sign

"Whirl/Win unexpected treasures"



30" hanging circle

Gold background

blk Metal Swirl

8 Letters:

(2) W - Red 4 3/4" H

(6) others - white 3 3/4" H

letters are mounted on  
1" pieces from gold base

letter sizing 14 x 30

19 letters = 2" H Black

Post is

3" W 8' H

6' @ crossbar

2 1/4" 2 1/4" thickness





**Town of Barnstable**  
**Old King's Highway Historic District Committee**  
200 Main Street, Hyannis, Massachusetts 02601  
Telephone (508) 862-4787, Email [grayce.rogers@town.barnstable.ma.us](mailto:grayce.rogers@town.barnstable.ma.us)



**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

Application is hereby made, with six (6) complete, colored sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Date 2/16/22 **Map & Parcel** 301 / 013

**Property Owner** Susan Eacott Comer TR Phone 860-712-1354

Street address 294 Millway Email scomer@bbeinc.com

Village Barnstable

Mailing address \_\_\_\_\_ Signature \_\_\_\_\_

**Agent/Contractor** Kevin Werner Fine Line Design Phone 508-420-1296

Agent Address Box 163 Cummaquid MA 02637 Email kevin@finelinearchitectural.com

Agent Signature 

If approved, the Certificate of Appropriateness expires one year from the stamped approval date or upon the expiration of a Building Permit, whichever date shall be later. A one year extension may be requested, in writing, to the Old King's Highway Administrative Assistant at 200 Main Street, Hyannis, MA 02601. This request must be received prior to the date of expiration.

There is a 10 day appeal period plus a four day waiting period for all applications after which time your approval paperwork will be available for pickup and building permit sign-off. All applications are subject to meeting any applicable building code requirements.

	<input type="checkbox"/> New Build	<input checked="" type="checkbox"/> Addition	<b>Check all categories that apply</b>		<input checked="" type="checkbox"/> Residential	<input type="checkbox"/> Commercial
<b>Building Construction</b>						
<b>Type of Building</b>	<input checked="" type="checkbox"/> House	<input type="checkbox"/> Garage	<input type="checkbox"/> Barn	<input type="checkbox"/> Shed	<input type="checkbox"/> Other	
<b>Project</b>	<input checked="" type="checkbox"/> Roof	<input checked="" type="checkbox"/> Windows/Doors	<input checked="" type="checkbox"/> Siding/Painting	<input type="checkbox"/> Solar	<input type="checkbox"/> Other	
<b>Landscape Feature</b>	<input type="checkbox"/> Fence	<input type="checkbox"/> Wall	<input type="checkbox"/> Flag Pole	<input type="checkbox"/> Pool	<input type="checkbox"/> Other	
<b>Signs</b>	<input type="checkbox"/> New Sign	<input type="checkbox"/> Replace Sign	<input type="checkbox"/> Repaint Sign		<input type="checkbox"/> Other	

**Description of Proposed Work** Remove a portion of the existing roof and create a new second story.

**DENIED**

	<i>for Committee use only</i>	<b>This Certificate is hereby</b>	<b>APPROVED</b>		
	By a vote of	<u>Ave</u>	<u>Nay</u>	<u>Abstain</u>	Date <u>                    </u>
	<i>Members signatures</i>	_____			
	<i>Conditions of Approval</i>	_____			



# CERTIFICATE OF APPROPRIATENESS – SPEC SHEET

## CHIMNEY

Material  Color

## ROOF

Make & style  Color

Roof Pitch (s) – (7/12 minimum)   
(specify on plans for new building & major additions)

## GUTTER

Type/Material  Color

## WINDOWS, DOORS, TRIM, SHUTTERS, SKYLIGHTS

### Window/Door Trim material

Wood  Other specify

Size of cornerboards  Size of casings (1X4 min)  Color

Rakes 1<sup>st</sup> member  2<sup>nd</sup> Member  Depth of overhang

### Windows:

Make/Model  Material  Color

#### Window Grills

Divided Light ☐ Exterior Glued Grills ☒ Grills Between Glass ☐

Removable Interior Grills ☐ No Grills ☐ Grill Pattern

### Doors:

Style & Make  Material  Color

#### Garage doors:

Style  Size of opening  Material

Color

### Shutters:

Type & Style  Material  Color

### Skylights:

Type  Make & Model

Material  Size  Color

## SIDING

Type  ☐ Shingle ☐ Other ☐

Material  ☐ White Cedar ☒ Other ☐

Paint Color

## FOUNDATION

Type  (max 12' exposed)

## DECK

Material  Color

## SIGNS

Size  Materials  Color

## FENCE

Type  Color

Material  Length

## RETAING WALL

Description

## LIGHTING

Type and location (free standing  
affixed to structure, illuminated)



# CHECKLIST – CERTIFICATE OF APPROPRIATENESS

*Please complete the Checklist that is applicable to your project.*

**Submit six (6) complete colored sets, unless otherwise noted**

## FEES

- .... **Filing Fee** according to fee schedule, please make checks payable to the Town of Barnstable
- .... **Legal Ad fee**, in the amount of **\$19.84**, made payable to the Town of Barnstable
- .... **First Class Postage Stamps** for abutter notification. Please contact Barnstable Old King's Highway Office for correct count

## ALTERATIONS *(new paint color, change of siding material, roofing, windows, doors, shutters, etc)*

- .... **Application for Certificate of Appropriateness**
- .... **Spec Sheet**, brochures and color samples
- .... Plans of building elevations/photographs, **ONLY** if there is a change to the location and size of the window (s) or Door (s).

## MINOR ADDITIONS *(decks, enclosing a porch, sheds (over 120 sqft)*

- .... **Application for Certificate of Appropriateness**,
- .... **Spec Sheet**, brochures and color samples
- .... **Site Plan**, **ONLY** if there are changes to the footprint *(see site plan criteria below)*  
A site plan drawn on a mortgage survey plan or GIS map may be used for minor additions, **UNLESS** the porch, deck, pool, or Shed etc. is close to lot lines, zoning setback lines, or other buildings, in which case a certified site plan must be submitted
- .... **Photographs** of all building elevation affected by any proposed alterations
- .... **Plans** 2 full scale plans, plus 4 copies of the plan at reduced scale to fit 8.5x11 or 11x17 paper  
Company brochure of manufacturers shed or to-scale sketch **or** affected structure or building elevations

## ASSESSORY STRUCTURES, NEW/ALTERED *(fences, new stonewalls, changes to retaining walls, pools etc)*

- .... **Application for Certificate of Appropriateness**
- .... **Spec Sheet**, brochures &/or diagram
- .... **Site Plan** *(see site plan criteria below)*
- .... **Photographs** of any existing structure that will be affected by the change

## SIGNS *(complete sign supplement)*

- .... **Rendering** of the proposed sign, showing graphics, dimensions, design and height of post, color, and materials
- .... **Site Plan** on GIS map or mortgage survey, or photographs, or to-scale sketch of building elevation showing location of Proposed sign; and any tree to be removed near a freestanding sign *(see below for site plan criteria)*

## SOLAR PANELS *(complete solar panel supplement)*

- .... **Drawing** of locations of panels on house showing roof and panel dimensions
- .... **Site Plan** showing location of building on property *(see site plan criteria below)*

## SITE PLAN CRITERIA

- .... Name of applicant, street location, map and parcel
- .... Name of architect, engineer, or surveyor; original stamp & signature; date of plan & revision dates
- .... North arrow, written and drawn to scale
- .... Changes to existing grades shown with one-foot contours
- .... Proposed & existing footprint of building and/or structures, and distance to lot lines
- .... Proposed driveway location
- .... Proposed limits of clearing for building (s), assessor structure (s), driveway and septic system
- .... Retaining walls or accessory structures (e.g. pool, tennis court, cabana, barn, garage, etc)



# NEW BUILDINGS, ADDITION, OR COMMERCIAL BUILDING CHECKLIST – CERTIFICATE OF APPROPRIATENESS

**Submit Six (6) complete colored sets, unless otherwise noted**

..... **Application for Certificate of Appropriateness**

..... **Spec Sheet**, brochures or diagram

..... **Site Plan**

- ..... Name of applicant, street location, map and parcel
- ..... Name of architect, engineer, or surveyor; original stamp & signature; date of plan & revision dates
- ..... North arrow, written and drawn to scale
- ..... Changes to existing grades shown with one-foot contours
- ..... Proposed & existing footprint of building and/or structures, and distance to lot lines
- ..... Proposed driveway location
- ..... Proposed limits of clearing for building (s), assessor structure (s), driveway and septic system
- ..... Retaining walls or accessory structures (e.g. pool, tennis court, cabana, barn, garage, etc)

..... **Building Elevations**

- ..... Plans at scale of  $\frac{1}{4}'' = 1$  foot; a written drawn scale
- ..... Plans at a reduced scale to fit 8.5"x11 **or** 11x17 paper
- ..... Name of applicant, street location, map and parcel
- ..... Name of Building Designer, or architect; original signature of plan preparer and stamp; plan date, and all revision dates.  
..... *\*All new house or commercial building plans must have an original signature and stamp, if any, by a registered Architect, member of AIBD, or a licensed Massachusetts Home Improvement Contractor, unless this requirement is waived by the Old King's Highway Historic District Committee.*
- ..... A written and bar drawn scale
- ..... Elevations of all (affected) sides of the building, with dimensions including height from the natural grade adjacent to the Building to the top of the ridge; location and elevation of finished grade, roof pitch (s) dormer setbacks; trim style, window And door styles. Changes to existing building must be clouded on drawings.
- ..... Window schedule on plans

..... **Landscape Plan** (drawn on a certified perimeter plan containing the following)

- ..... Name of applicant, street address, assessor's map and parcel number
- ..... Name, address, and telephone number of the plan preparer, plan date, & date of revisions
- ..... The location of existing and proposed buildings and structures, and lot lines
- ..... Natural features of site (i.e. rock outcroppings, streams, wetlands, etc)
- ..... Existing buffer areas to remain
- ..... Location and species of trees and plants
- ..... Driveway, parking areas, walkways, and patios, indicating materials to be used
- ..... Existing stone walls, and proposed walls including retaining walls for slope retention or septic systems  
..... *For removal of stone walls, you must file a demolition application*
- ..... All proposed exterior lighting and signs

..... **Sketch or Photos of adjacent properties**

- ..... A sketch (s) to scale or photographs of nearby adjacent buildings, where present, along both sides of the street frontage,
- ..... Showing the proposed new house or commercial building in scale and in relationship to the existing buildings.  
..... *Please discuss with staff if you do not think this is relevant to your application.*

..... **Photographs of all sides of existing buildings** to remain or being added to

---

**Existing building, foot print**

Building 1 (sq. ft.) \_\_\_\_\_ Building 2 (sq. ft.) \_\_\_\_\_

**Existing building, gross floor area, including area of finished basement**

Building 1 (sq. ft.) \_\_\_\_\_ Building 2 (sq. ft.) \_\_\_\_\_

**New Building or addition, foot print**

Building 1 (sq. ft.) \_\_\_\_\_ Building 2 (sq. ft.) \_\_\_\_\_

**New Building or addition, gross floor area, including area of finished basement**

Building 1 (sq. ft.) \_\_\_\_\_ Building 2 (sq. ft.) \_\_\_\_\_

**Plan preparer, signature and date**

Kevin Werner Fine Line Design





# SOLAR PANEL SUPPLEMENT

## STRUCTURE ONE

**STRUCTURE TYPE** Home ☐ Garage ☐ Barn ☐

**ELEVATION PLACEMENT**

North ☐ South ☐ East ☐ West ☐

**ROOF MEASUREMENTS**

Length  Height  Pitch

**SOLAR PANEL MEASUREMENTS**

Length  Depth  Width

**SOLAR PANEL TYPE & FINISH**

Color  Finish (matte or glossy)

## STRUCTURE TWO

**STRUCTURE TYPE** Home ☐ Garage ☐ Barn ☐

**ELEVATION PLACEMENT**

North ☐ South ☐ East ☐ West ☐

**ROOF MEASUREMENTS**

Length  Height  Pitch

**SOLAR PANEL MEASUREMENTS**

Length  Depth  Width

**SOLAR PANEL TYPE & FINISH**

Type Roof Mounted ☐ Ground Mounted ☐ Canopy/Carport System ☐

Color  Finish (matte or glossy)

Solar Company			
	Phone		
Solar representative			
	Print Name	Signature	
Date			



## SIGN SUPPLEMENT

### PROJECT TYPE

New ☐

Minor Change to Existing Sign ☐

Replace Existing Color ☐

Replace Existing Sign with New ☐

### MOUNTING TYPE

Post Mount ☐

*Post Mount Installation Type*

Surface Installation ☐

Direct Burial Installation ☐

Wall/Surface Mount ☐

Mounting type

Elevation affixed to

### ASTHETICS

Size

Material

Lettering (style)

Color

Post/Mount Material

Color

Height to Crossbar

Single Faced ☐

Double Faced ☐

### LIGHTING

Will the sign be lit

Yes ☐

No ☐

Type of Lighting

Placement of Lighting

### ADDITIONAL INFORMATION



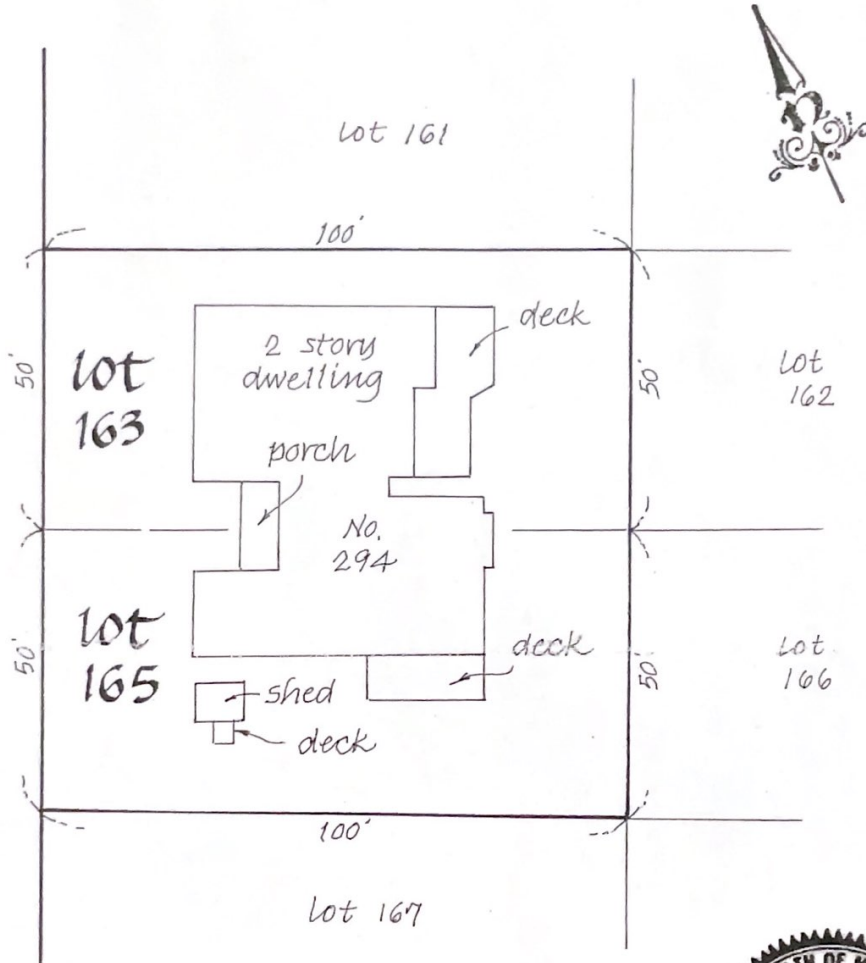
# MORTGAGE INSPECTION PLAN

Applicant: Tenikún

Location: Barnstable

294 Milway

Milway



Title ref: ctf. 172349 Flood Panel: 250 01 C0558 J Flood Zone: AE\*

I hereby certify that this mortgage inspection was prepared for  
Atty. Matthew P. Fitzsimmons

The dwelling shown hereon does \* fall in a special F.E.M.A. flood zone  
"A" or "V", with an effective date of 7-16-14 and the location of the dwelling  
does conform to the local zoning by-laws in effect at the time of  
construction with respect to horizontal dimensional setback requirements  
or is exempt from violation enforcement action under M.G.L. Ch. 40A, sect. 7.



Scale: 1" = 30'  
Date: 1-15-19  
File No. 19-0026

Please note: The structures shown on this mortgage inspection are shown approximate only. An instrument survey is necessary to determine a precise location of structures and property lines. This mortgage inspection must not be used for recording purposes or for use in preparing deed descriptions and must not be used for variance or building department purposes. Verification of building locations, property line dimensions, fences or lot configuration can only be accomplished by an accurate instrument survey which may reflect different information than what is shown hereon. NOTE: THIS IS NOT A BOUNDARY SURVEY AND IS FOR MORTGAGE PURPOSES ONLY.

## COLONIAL LAND SURVEYING COMPANY, INC.

POST OFFICE BOX 350 • HUMAROCK, MA 02047 • P: 781-826-7186 • F: 781-826-4823 • E: COLONIALSURVEY@GMAIL.COM





© 2021 Google

© 2021 Google

























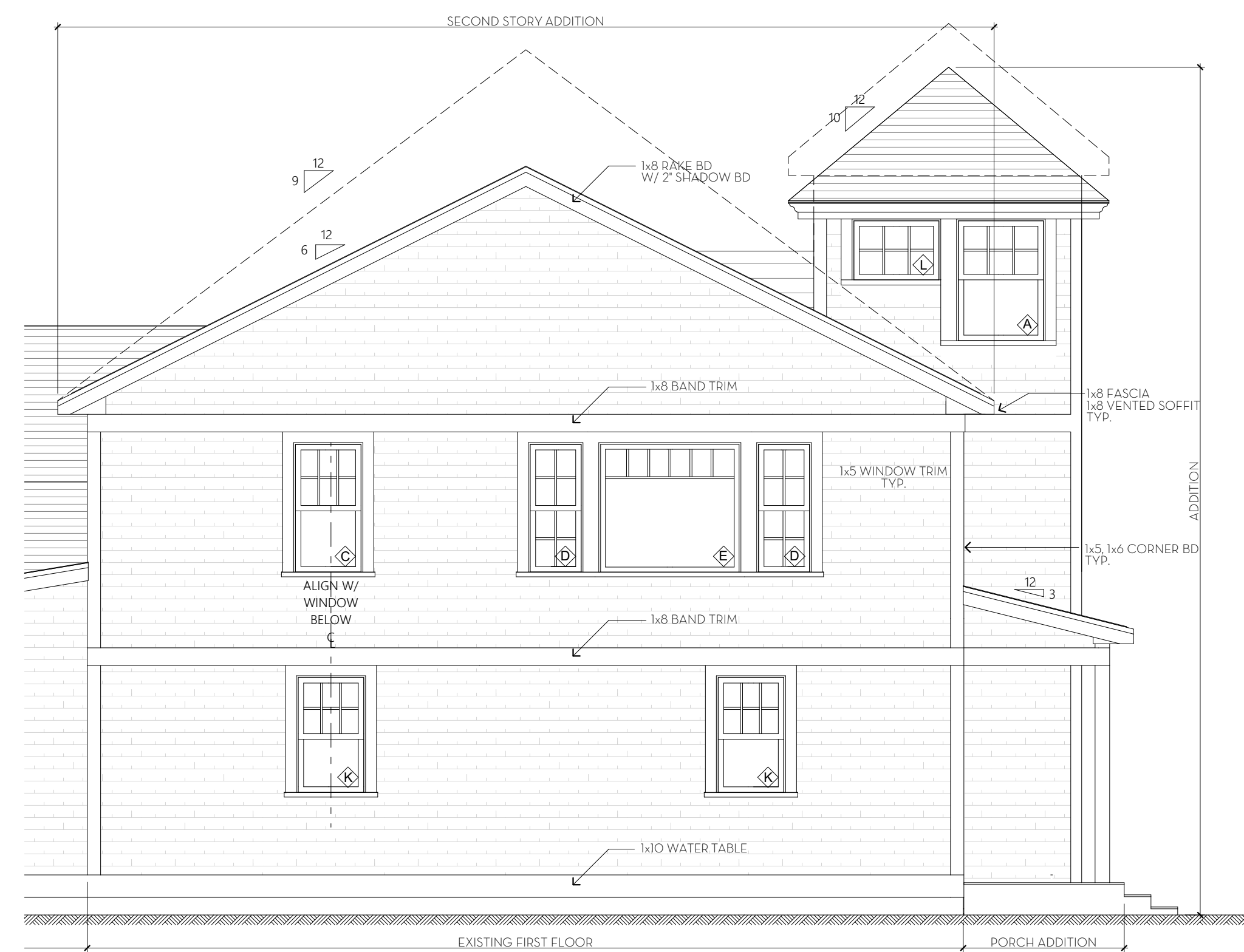




1  
01 REVISED FRONT (WEST) ELEVATION  
SCALE: 1/4" = 1'-0"



2  
01 REVISED NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



3  
01 REVISION DEMONSTRATION  
SCALE: 1/4" = 1'-0"

FINE LINE design

508.420.1296  
3826 MAIN STREET BARNSTABLE  
www.FineLineArchitecturalDesign.com

NOTES:

COMER RESIDENCE  
294 MILLWAY  
BARNSTABLE, MA  
MAP / BLOCK 301 / 013

RENOVATION

SET ISSUE DATES

DATE ISSUE

REVISIONS

# DATE DESCRIPTION

HISTORIC  
REVIEW

SHEET #7 OF 21

01

DATE: 2/23/22





1  
02 REVISED SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE				
ID	QUANTITY	UNIT SIZE		COMMENT
		WIDTH	HEIGHT	
A	10	37 5/8"	52 7/8"	WHITE DH - TW 3042 6/1 SDL LITE
B	1	37 5/8"	48 7/8"	WHITE DH - TW 30310 6/1 SDL LITE
C	4	29 5/8"	52 7/8"	WHITE DH - TW 2442 6/1 SDL LITE
D	2	25 5/8"	52 7/8"	WHITE DH - TW 2042 4/1 SDL LITE
E	1	59 5/16"	52 7/8"	WHITE PICTURE - DHP 41042 FRACTAL LITE
F	3	36"	17"	WHITE AWNING - AR31 3 LITE
G	2	37 5/8"	60 7/8"	WHITE DH - TW 30410 6/1 SDL LITE
H	2	29 5/8"	36 7/8"	WHITE DH - TW 24210 6/1 SDL LITE
I	2	24"	24"	WHITE OCT - OCT 2020 4 LITE
J	2	31 5/8"	48 7/8"	WHITE DH - TW 26310 6/1 SDL LITE
K	2	29 5/8"	48 7/8"	WHITE DH - TW 24310 6/1 SDL LITE
L	1	36"	24"	WHITE AWNING - A31 6/1 SDL LITE

WINDOWS NOT TAGGED ARE EXISTING NOT BEING REPLACED  
NOTE: WINDOWS NOTED ARE 400 SERIES MANUFACTURED BY ANDERSEN. G.C. TO CHECK SIZE AND LOCATION PRIOR TO WINDOW ORDER AND CONSTRUCTION. NOTIFY FLD FOR SCHEDULE TO BE UPDATED AFTER RECEIVING WINDOW QUOTE FROM ANDERSEN REP.



2  
02 REVISED REAR (EAST) ELEVATION  
SCALE: 1/4" = 1'-0"

FINE LINE design

508.420.1296  
3826 MAIN STREET BARNSTABLE  
www.FineLineArchitecturalDesign.com

NOTES:

COMIER RESIDENCE  
294 MILLWAY  
BARNSTABLE, MA  
MAP / BLOCK 301 / 013

RENOVATION

SET ISSUE DATES  
DATE ISSUE

REVISIONS  
# DATE DESCRIPTION

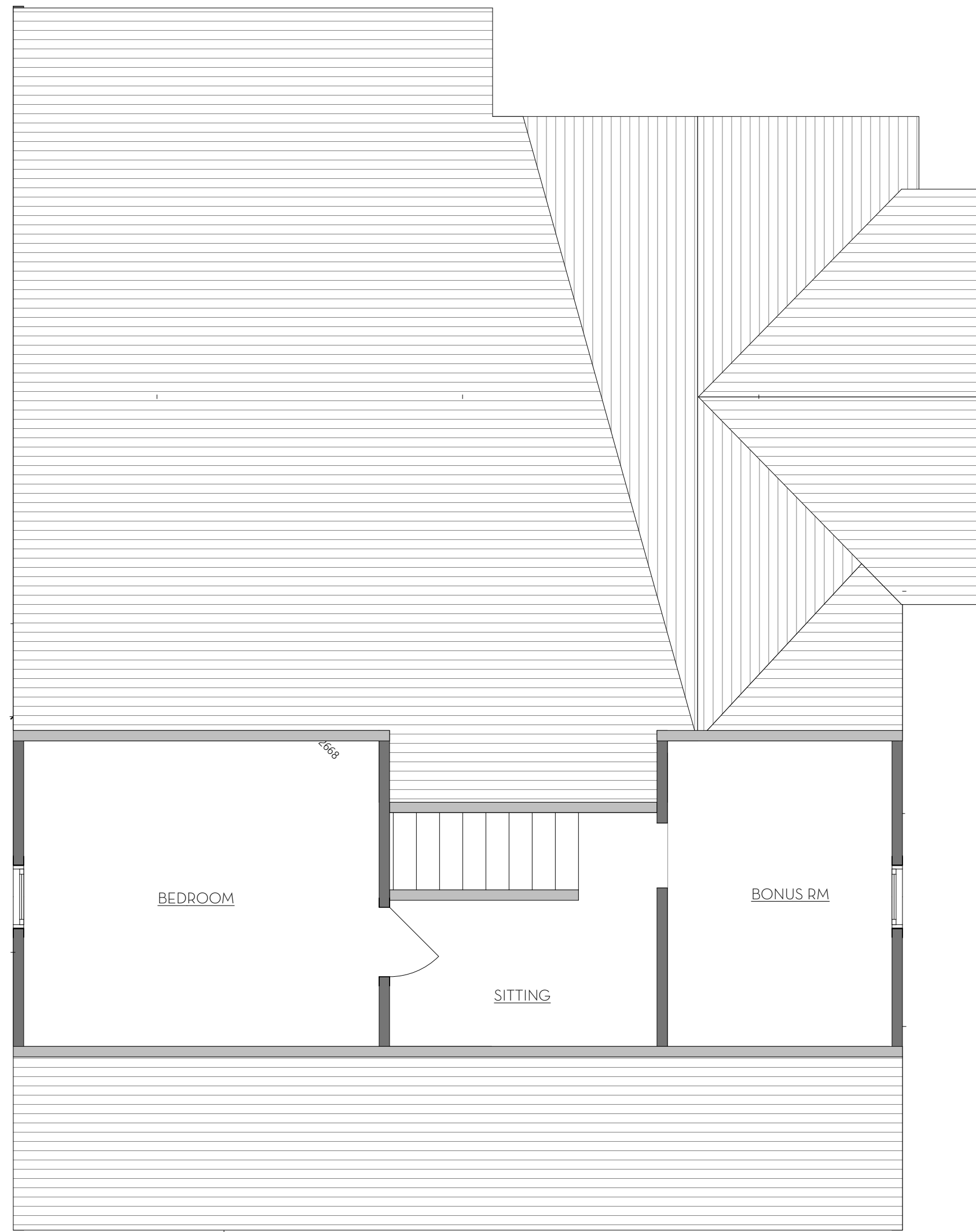
HISTORIC  
REVIEW

SHEET #8 OF 21

02

DATE: 2/23/22

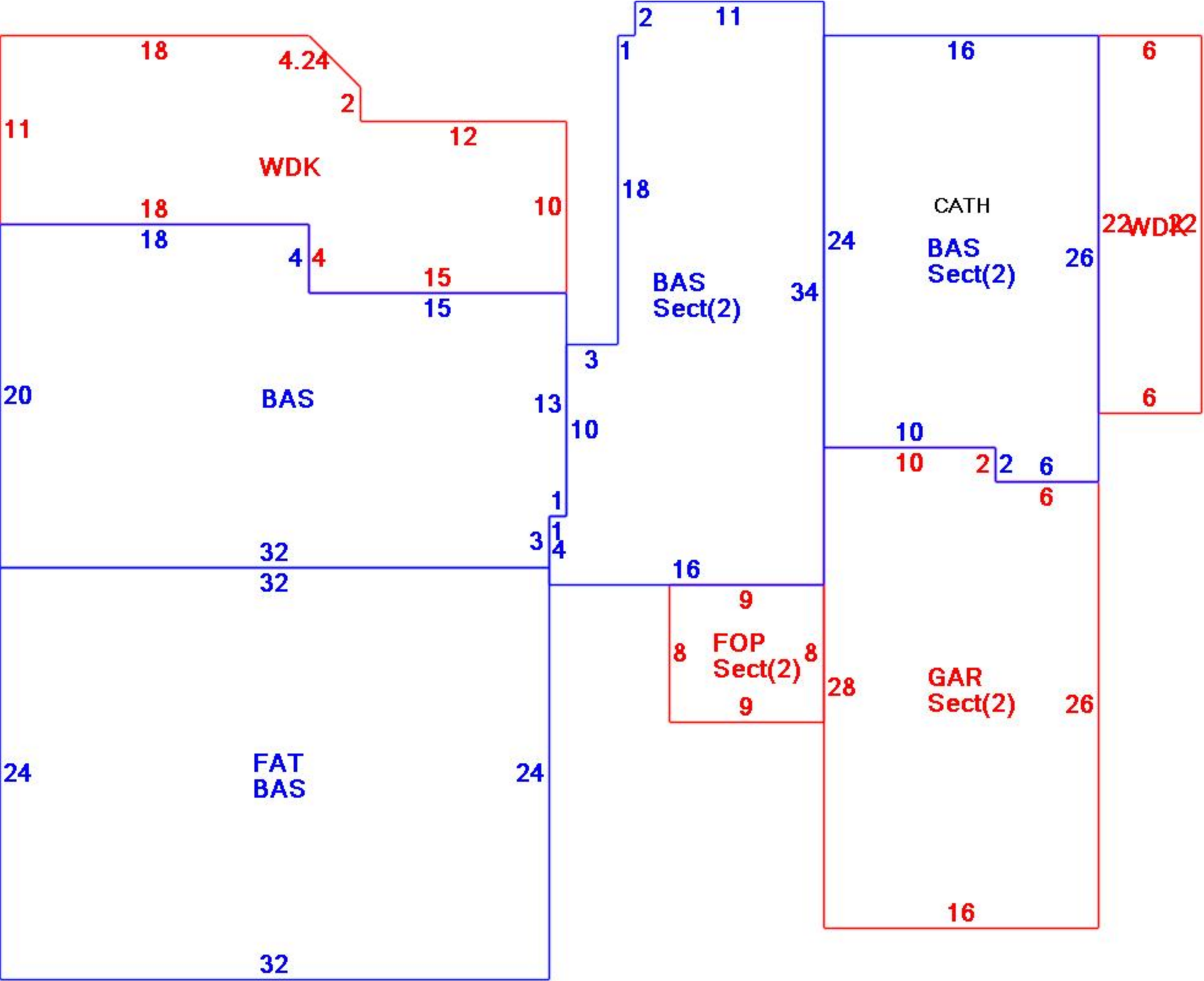






https://itsql.db.town.barnstable.ma.us:8407	1/7
---	-----

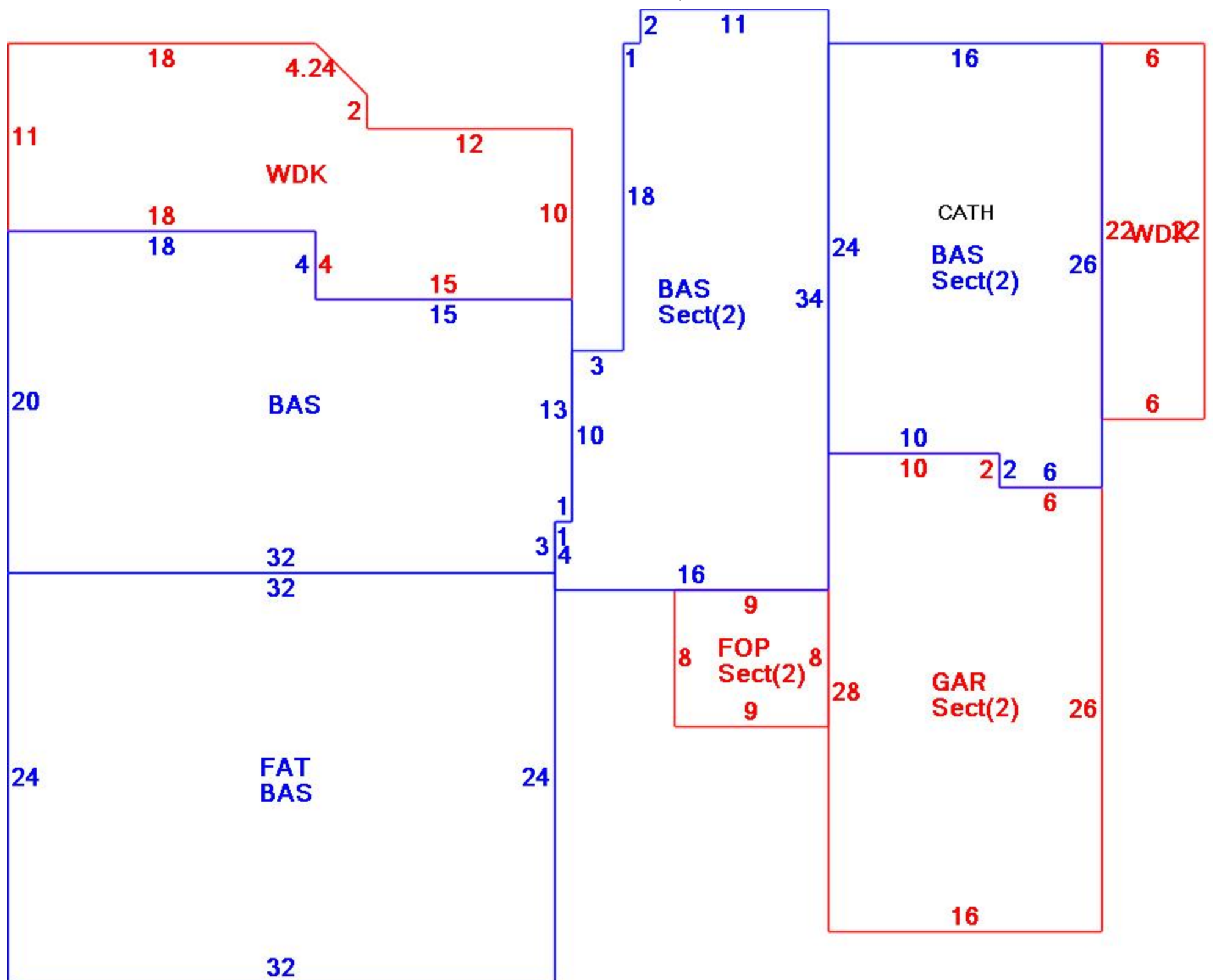




Building 1 of 2

Year built	Roof structure	Heat type
2011	Gable/Hip	Hot Water
Living area	Roof cover	Heat fuel
2328	Asph/F Gls/Cmp	Gas
Gross area	Exterior wall	AC type
3980	Wood Shingle	Central
Style	Interior wall	Bedrooms
Cape Cod	Drywall	1 Bedroom
Model	Interior floor	Bath rooms
Residential	Carpet, Hardwood	1 Full-0 Half
Grade	Foundation	Total rooms
Average		3
Stories		
1.4		





▼ Permit History

Issue Date	Purpose	Permit Number	Amount	InspectionDate	Comments
04/09/2019	Sid/Wind/Roof/Door	19-1150	\$9,000		roof - yarmouth
05/03/2018	Alt-Int work-Res	18-1087	\$7,107		repair flood damaged block wall & 3 piers in crawl area of home. replace pier posts and attach to girder with simpson postcap hardware
11/01/2017	Sid/Wind/Roof/Door	17-3801	\$9,995		replace 2 windows .30 uvalue
10/31/2017	Insulation	17-3679	\$4,700		Install 8" Layer R28 Class 1 Cellulose Added to 384 Sq. Ft. Open Kneewall Floor - Install 32 Ventilation Chutes in Rafter Bays.
05/24/2012	HVAC	201202955	\$10,000	02/25/2013	NEW DUCT SYSTEM FOR 3 ZONES HEATING & COOLING
01/13/2012	Remodel-Addition	201107157	\$275,000	02/25/2013	REMOV EXIST GAR,ENTRY & ENTRY DECK-ADD NW ATT GAR,MSTRBDRM SUITE, LAUNDRY,ENTRY,ASPHALT DRIVEWAY,DECK,SHED,OUTDR SHWR
01/01/1992	Addition	B34797	\$1,500	01/15/1993	BA REPAIR

▼ Sale History

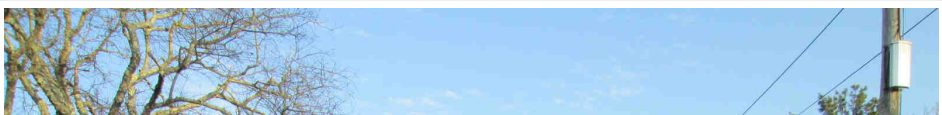
Line	Sale Date	Owner	Book/Page	Sale Price
1	02/11/2019	COMER, SUSAN EACOTT TR	C218586/0	\$750,000
2	03/15/2004	TEMKIN, ROBERT H & ELLEN P	C172349/0	\$605,000
3	05/18/1973	MCKIEL, ROBERT D & KATHERINE L	C58597/0	\$0



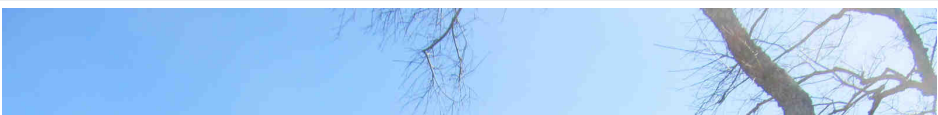
Assessment History

Save #	Year	Building Value	XF Value	OB Value	Land Value	Total Parcel Value
1	2022	\$366,300	\$31,200	\$8,700	\$431,100	\$837,300
2	2021	\$306,900	\$31,600	\$8,700	\$391,900	\$739,100
3	2020	\$302,300	\$26,500	\$7,500	\$391,900	\$728,200
4	2019	\$265,000	\$26,900	\$8,000	\$411,500	\$711,400
5	2018	\$221,100	\$27,000	\$8,200	\$391,900	\$648,200
6	2017	\$206,700	\$26,400	\$8,100	\$391,900	\$633,100
7	2016	\$206,700	\$26,400	\$8,100	\$400,900	\$642,100
8	2015	\$210,500	\$24,600	\$10,100	\$381,100	\$626,300
9	2014	\$205,200	\$23,700	\$10,500	\$381,100	\$620,500
10	2013	\$189,300	\$22,200	\$10,900	\$381,100	\$603,500
11	2012	\$139,900	\$17,000	\$6,900	\$381,100	\$544,900
12	2011	\$156,800	\$6,800	\$900	\$381,100	\$545,600
13	2010	\$156,300	\$6,800	\$1,000	\$381,100	\$545,200
14	2009	\$166,900	\$5,500	\$500	\$376,300	\$549,200
15	2008	\$179,100	\$5,500	\$500	\$384,200	\$569,300
17	2007	\$179,100	\$5,500	\$500	\$384,200	\$569,300
18	2006	\$181,900	\$5,500	\$500	\$355,800	\$543,700
19	2005	\$164,600	\$5,400	\$500	\$286,700	\$457,200
20	2004	\$146,000	\$5,400	\$500	\$254,900	\$406,800
21	2003	\$113,300	\$2,700	\$500	\$98,100	\$214,600
22	2002	\$113,300	\$2,700	\$500	\$98,100	\$214,600
23	2001	\$113,300	\$2,700	\$500	\$98,100	\$214,600
24	2000	\$87,600	\$2,500	\$300	\$84,100	\$174,500
25	1999	\$87,600	\$2,500	\$300	\$84,100	\$174,500
26	1998	\$87,600	\$2,500	\$300	\$84,100	\$174,500
27	1997	\$90,900	\$0	\$0	\$50,300	\$142,000
28	1996	\$98,100	\$0	\$0	\$50,300	\$149,200
29	1995	\$98,100	\$0	\$0	\$50,300	\$149,200
30	1994	\$91,000	\$0	\$0	\$39,200	\$131,000
31	1993	\$83,800	\$0	\$0	\$39,200	\$123,000
32	1992	\$95,200	\$0	\$0	\$43,600	\$138,800
33	1991	\$97,300	\$0	\$0	\$83,800	\$181,100
34	1990	\$97,300	\$0	\$0	\$83,800	\$181,100
35	1989	\$97,300	\$0	\$0	\$83,800	\$181,100
36	1988	\$97,500	\$0	\$0	\$44,200	\$141,700
37	1987	\$97,500	\$0	\$0	\$44,200	\$141,700
38	1986	\$97,500	\$0	\$0	\$44,200	\$141,700

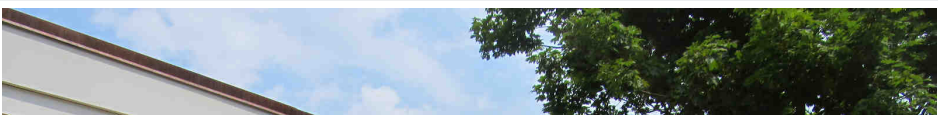
Photos







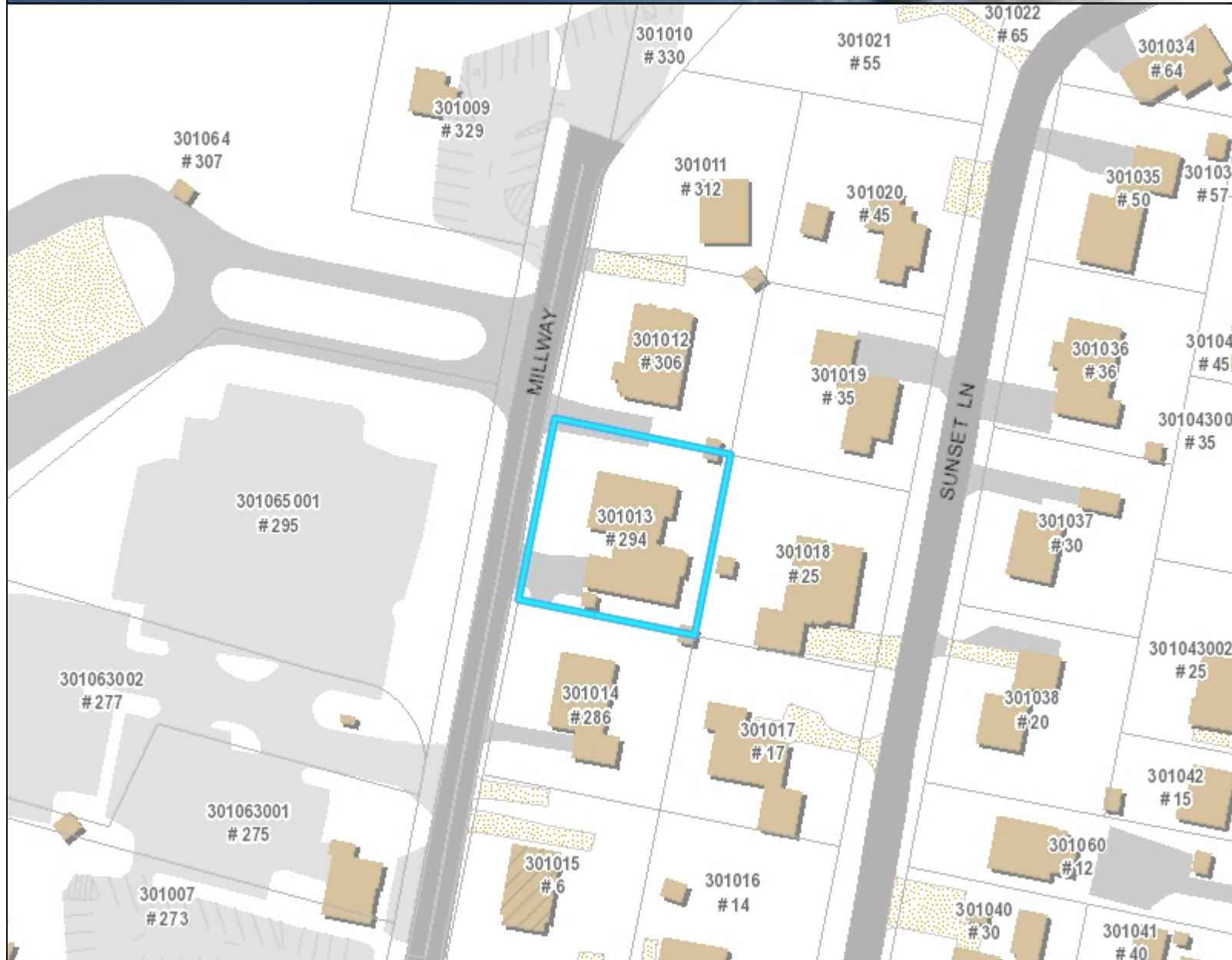










**Legend**

- Parcels
- Town Boundary
- + Railroad Tracks
- Buildings
  - Approx. Building
  - Buildings
- Painted Lines
- Parking Lots
  - Paved
  - Unpaved
- Driveways
  - Paved
  - Unpaved
- Roads
  - Paved Road
  - Unpaved Road
- Bridge
  - Bridge
- Paved Median
  - Paved Median
- Streams
- Marsh
- Water Bodies

Map printed on: 3/3/2022

0 83 167 Feet

Approx. Scale: 1 inch = 83 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.

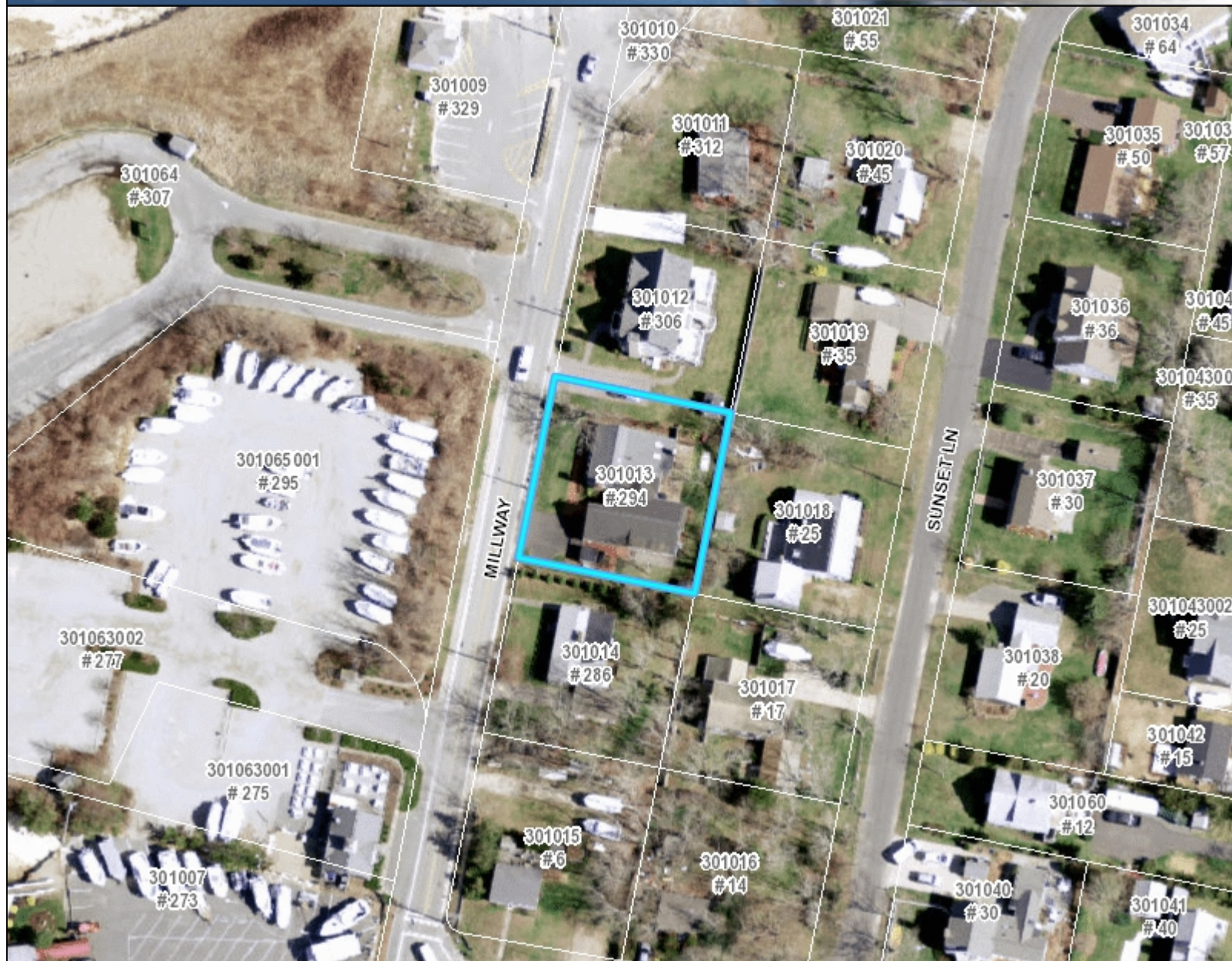
**Town of Barnstable GIS Unit**

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us





Map printed on: 3/3/2022

0 83 167 Feet

Approx. Scale: 1 inch = 83 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



Property ID: 301012

TROMBI. NICHOLAS & MARNIE  
306 MILLWAY  
BARNSTABLE. MA 02630

Property ID: 301013

COMER. SUSAN EACOTT TR  
SUSAN EACOTT COMER REV TRUST  
139 MORGAN ROAD  
CANTON. CT 06019

Property ID: 301014

GOEHRING. HILDA L TR  
HILDA L GOEHRING REV TRUST  
143 PINE LANE  
BARNSTABLE. MA 02630

Property ID: 301017

SUYEMATSU. JEFFREY K TR  
PERNA REALTY TRUST II  
280 FARNUM STREET  
NORTH ANDOVER. MA 01845

Property ID: 301018

MASTICO. NANCY J  
79 BAXTER AVE  
QUINCY. MA 02169

Property ID: 301065001

BLAIR. HENRY E & MURPHY. RAYMOND M  
MILL WAY REALTY TRUST  
P O BOX 657  
BARNSTABLE. MA 02630





**Town of Barnstable**  
**Old King's Highway Historic District Committee**  
200 Main Street, Hyannis, Massachusetts 02601  
Telephone (508) 862-4787, Email [grayce.rogers@town.barnstable.ma.us](mailto:grayce.rogers@town.barnstable.ma.us)



**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

Application is hereby made, with six (6) complete, colored sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Date 2/16/22 Map & Parcel 336/064

Property Owner JOHN + SUSAN LITTLEFIELD Phone \_\_\_\_\_

Street address 11 HOLLY LANE Email \_\_\_\_\_

Village BARNSTABLE

Mailing address \_\_\_\_\_ Signature \_\_\_\_\_

Agent/Contractor A3 ARCHITECTS INC Phone \_\_\_\_\_

Agent Address 831 MAIN ST DENNIS Email \_\_\_\_\_

Agent Signature \_\_\_\_\_

If approved, the Certificate of Appropriateness expires one year from the stamped approval date or upon the expiration of a Building Permit, whichever date shall be later. A one year extension may be requested, in writing, to the Old King's Highway Administrative Assistant at 200 Main Street, Hyannis, MA 02601. This request must be received prior to the date of expiration.

There is a 10 day appeal period plus a four day waiting period for all applications after which time your approval paperwork will be available for pickup and building permit sign-off. All applications are subject to meeting any applicable building code requirements.

Building Construction	<input type="checkbox"/> New Build	<input checked="" type="checkbox"/> Additions	Check all categories that apply		<input checked="" type="checkbox"/> Residential	<input type="checkbox"/> Commercial
Type of Building	<input checked="" type="checkbox"/> House	<input checked="" type="checkbox"/> Garage	<input type="checkbox"/> Barn	<input type="checkbox"/> Shed	<input type="checkbox"/> Other	
Project	<input checked="" type="checkbox"/> Roof	<input checked="" type="checkbox"/> Windows/Doors	<input checked="" type="checkbox"/> Siding/Painting	<input type="checkbox"/> Solar	<input type="checkbox"/> Other	
Landscape Feature	<input type="checkbox"/> Fence	<input checked="" type="checkbox"/> Wall	<input type="checkbox"/> Flag Pole	<input type="checkbox"/> Pool	<input type="checkbox"/> Other	
Signs	<input type="checkbox"/> New Sign	<input type="checkbox"/> Replace Sign	<input type="checkbox"/> Repaint Sign	<input type="checkbox"/> Other		

Description of Proposed Work DEMO + REBUILD GARAGE AND ADDITION ON THE EAST SIDE OF EXISTING HOUSE

**DENIED**

for Committee use only This Certificate is hereby **APPROVED**

By a vote of Ave Nav Abstain Date \_\_\_\_\_

Members signatures \_\_\_\_\_

Conditions of Approval \_\_\_\_\_



# NEW BUILDINGS, ADDITION, OR COMMERCIAL BUILDING CHECKLIST – CERTIFICATE OF APPROPRIATENESS

*Submit Six (6) complete colored sets, unless otherwise noted*

## Application for Certificate of Appropriateness

Spec Sheet, brochures or diagram

## Site Plan

Name of applicant, street location, map and parcel

Name of architect, engineer, or surveyor; original stamp & signature; date of plan & revision dates

North arrow, written and drawn to scale

Changes to existing grades shown with one-foot contours

Proposed & existing footprint of building and/or structures, and distance to lot lines

Proposed driveway location

Proposed limits of clearing for building (s), assessor structure (s), driveway and septic system

Retaining walls or accessory structures (e.g. pool, tennis court, cabana, barn, garage, etc)

## Building Elevations

Plans at scale of 1/4" = 1 foot; a written drawn scale

Plans at a reduced scale to fit 8.5"x11 or 11x17 paper

Name of applicant, street location, map and parcel

Name of Building Designer, or architect; original signature of plan preparer and stamp; plan date, and all revision dates.

*\*All new house or commercial building plans must have an original signature and stamp, if any, by a registered Architect, member of AIBD, or a licensed Massachusetts Home Improvement Contractor, unless this requirement is waived by the Old King's Highway Historic District Committee.*

A written and bar drawn scale

Elevations of all (affected) sides of the building, with dimensions including height from the natural grade adjacent to the

Building to the top of the ridge; location and elevation of finished grade, roof pitch (s) dormer setbacks; trim style, window

And door styles. Changes to existing building must be clouded on drawings.

Window schedule on plans

## Landscape Plan (drawn on a certified perimeter plan containing the following)

Name of applicant, street address, assessor's map and parcel number

Name, address, and telephone number of the plan preparer, plan date, & date of revisions

The location of existing and proposed buildings and structures, and lot lines

Natural features of site (i.e. rock outcroppings, streams, wetlands, etc)

Existing buffer areas to remain

Location and species of trees and plants

Driveway, parking areas, walkways, and patios, indicating materials to be used

Existing stone walls, and proposed walls including retaining walls for slope retention or septic systems

*For removal of stone walls, you must file a demolition application*

All proposed exterior lighting and signs

## Sketch or Photos of adjacent properties

A sketch (s) to scale or photographs of nearby adjacent buildings, where present, along both sides of the street frontage,

Showing the proposed new house or commercial building in scale and in relationship to the existing buildings.

*Please discuss with staff if you do not think this is relevant to your application.*

## Photographs of all sides of existing buildings to remain or being added to

### Existing building, foot print

Building 1 (sq. ft.) 3220 Building 2 (sq. ft.) \_\_\_\_\_

### Existing building, gross floor area, including area of finished basement

Building 1 (sq. ft.) 5222 Building 2 (sq. ft.) \_\_\_\_\_

### New Building or addition, foot print

Building 1 (sq. ft.) 2739 Building 2 (sq. ft.) \_\_\_\_\_

### New Building or addition, gross floor area, including area of finished basement

Building 1 (sq. ft.) 2739 Building 2 (sq. ft.) \_\_\_\_\_

Plan preparer, signature and date



# CERTIFICATE OF APPROPRIATENESS – SPEC SHEET

**CHIMNEY** Material EXTG TO REMAIN Color                     

**ROOF** Make & style ARCHITECTURAL ASPHALT TO MATCH EXISTING + CHARCOAL GREY METAL Color                       
 Roof Pitch (s) – (7/12 minimum) 12/12, 6.5/12 DORMER  
*(specify on plans for new building & major additions)*

**GUTTER** MATCH EXTG Type/Material                      Color                     

**WINDOWS, DOORS, TRIM, SHUTTERS, SKYLIGHTS** MATCH EXTG

**Window/Door Trim material** Wood                      Other specify                     

Size of cornerboards                      Size of casings (1X4 min)                      Color                     

Rakes 1<sup>st</sup> member                      2<sup>nd</sup> Member                      Depth of overhang                     

**Windows:** Make/Model ANDERSON A-SERIES Material                      Color                     

**Window Grills** Divided Light ☒ Exterior Glued Grills ☐ Grills Between Glass ☐

Removable Interior Grills ☐ No Grills ☐ Grill Pattern 6:6

**Doors:** Style & Make SIMPSON 7506 Material FIR Color GREEN

**Garage doors:** Style BARN Size of opening 8'-0" Material PAINTED WOOD

Color GREEN (SEE PLANS)

**Shutters:** N/A Type & Style                      Material                      Color                     

**Skylights:** Type                      Make & Model VELUX

MATCH EXTG Material                      Size                      Color WHITE

**SIDING** Type Clapboard ☒ Shingle ☒ Other ☐

Material Red Cedar ☐ White Cedar ☒ Other ☐

Paint Color WHITE CLAPBOARDS @ CONNECTORS

**FOUNDATION** Type POURED CONCRETE (max 12' exposed)

**DECK** Material MATCH EXTG Color                     

**SIGNS** N/A Size                      Materials                      Color                     

**FENCE** Type (split rail, chain link) Color                     

N/A Material                      Length                     

**RETAING WALL** N/A Description                     

**LIGHTING** Type and location (free standing affixed to structure, illuminated) MATCH EXISTING AT EXTERIOR DOORS



# SOLAR PANEL SUPPLEMENT

## STRUCTURE ONE

### STRUCTURE TYPE

Home ☒Garage ☐Barn ☐

### ELEVATION PLACEMENT

North ☐South ☒East ☐West ☐

### ROOF MEASUREMENTS

Length 28'-5 1/2"Height 25'-7"Pitch 12/7

### SOLAR PANEL MEASUREMENTS

Length 62"Depth 2"Width 42"

### SOLAR PANEL TYPE & FINISH

Color BLACKFinish (matte or glossy) 

## STRUCTURE TWO

### STRUCTURE TYPE

Home ☐Garage ☐Barn ☐

### ELEVATION PLACEMENT

North ☐South ☐East ☐West ☐

### ROOF MEASUREMENTS

Length Height Pitch 

### SOLAR PANEL MEASUREMENTS

Length Depth Width 

### SOLAR PANEL TYPE & FINISH

Type

Roof Mounted ☐Ground Mounted ☐Canopy/Carport System ☐Color Finish (matte or glossy) 

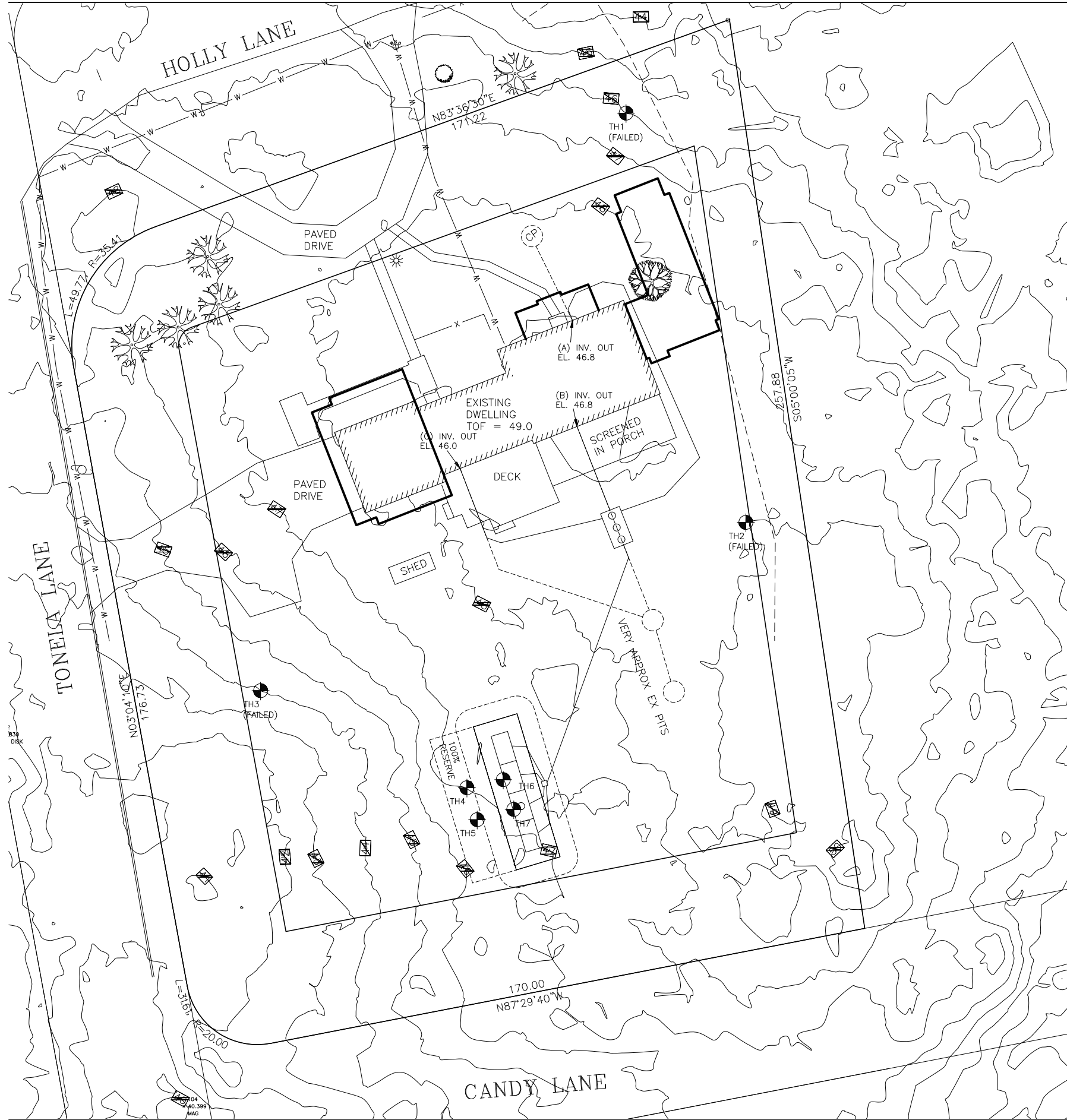
Solar Company

EZ SOLARPhone 

Solar representative

Print Name Signature Date





1 SITE PLAN  
S1 1/32"=1'-0"

A RENOVATION & ADDITION FOR:

JOHN & SUSIE LITTLEFIELD  
11 HOLLY LANE  
BARNSTABLE MA

TITLE:

SITE PLAN

**A3 architects, inc**  
Residential Commercial Net Zero  
831 Main Street  
Dennis, MA 02638  
508.694.7887 phone  
www.a3architectsinc.com

NOTICE OF COPYRIGHT:  
THIS DRAWING IS THE PROPERTY OF THE ARCHITECT HAS BEEN PREPARED SPECIFICALLY FOR THE OWNER FOR THIS PROJECT AT THIS SITE AND IS NOT  
TO BE USED WITHOUT WRITTEN CONSENT OF THE ARCHITECT © A3 ARCHITECTS, INC. 2021

Date:

EXTG: 07.15.2021

SD: 09.22.2021

HDC: 03.09.2022

S1





WINDOW SCHEDULE								
KEY	QTY	FRAME SIZE	ROUGH OPENING	MODEL	MANUFACTURER	STYLE	MUNT.	REMARKS
<u>A</u>	11	2'-3 1/2" X 4'-5"	TBD	A SERIES	ANDERSEN	DH	6/6	
<u>B</u>	1	4'-0" X 1'-5"	TBD	A SERIES	ANDERSEN	AWN	4 LITES	
<u>C</u>	1	1'-8" X 1'-8 3/8"	TBD	A SERIES	ANDERSEN	AWN	4 LITES	
<u>D</u>	13	2'-8 1/2" X 4'-5"	TBD	A SERIES	ANDERSEN	DH	6/6	
<u>E</u>	2	1'-8" X 1'-8 3/8"	TBD	A SERIES	ANDERSEN	FIXED	4 LITES	
<u>F</u>	2	2'-6 9/16" X 3' 2 3/8"	TBD	M04	VELUX			MANUAL
TOTAL		28						
NOTES:								
1. ALL WINDOWS SHALL BE ANDERSEN A SERIES WINDOWS, WHITE WITH SCLS								
2. ALL TO HAVE FULL SCREENS								
3. PAINTED WHITE INTERIOR FINISH WITH WHITE HARDWARE								
4. DOORS TO BE INCLUDED IN WINDOW QUOTE								

3 NEW WINDOW SCHEDULE  
A2.0 N.T.S.



2 WEST ELEVATION (TONELA LANE)  
A2.0 1/4"=1'-0"

AN ADDITION FOR:  
SUSIE AND JOHN LITTLEFIELD  
11 HOLLY LANE  
BARNSTABLE

TITLE:  
  
ELEVATIONS

831 Main Street  
Dennis MA 02638  
508.694.7887 phone  
www.a3architectsinc.com

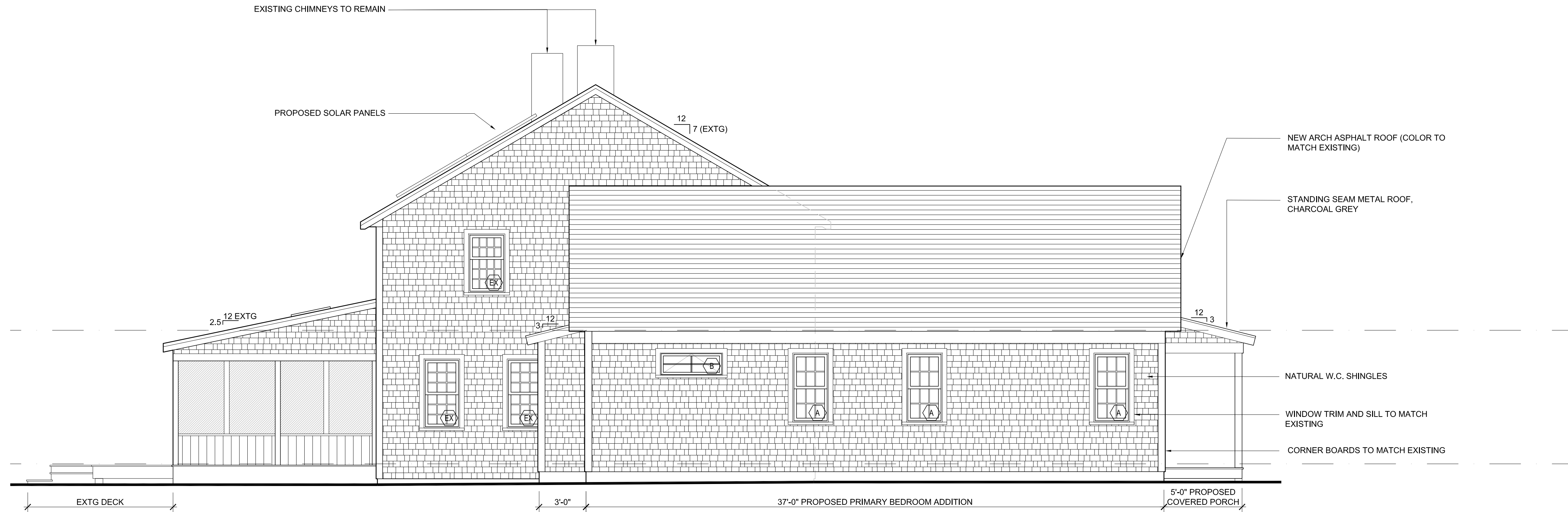
**A3architects, inc**  
Residential Commercial Net Zero

NOTICE OF COPYRIGHT:  
THIS DRAWING IS THE PROPERTY OF THE ARCHITECT HAS BEEN PREPARED SPECIFICALLY FOR THE  
OWNER FOR THIS PROJECT AT THIS SITE AND IS NOT TO BE USED WITHOUT WRITTEN CONSENT OF  
THE ARCHITECT © A3 ARCHITECTS, INC. 2022

DATE: 07/15/2021  
EXTG: 09/22/2021  
SD: 09/22/2021  
HDC: 02/16/2022

A2.0



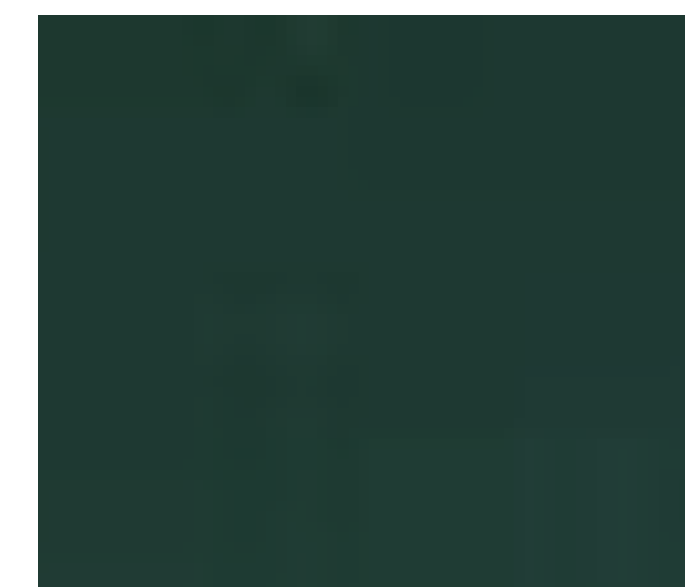


1 EAST ELEVATION (SIDE)  
A2.1 1/4"=1'-0"

DOOR SCHEDULE:									
DOORS									
KEY	QTY	FRAME SIZE	ROUGH OPENING	MODEL	MANUFACTURER	GLAZING	TYPE	MAT'L	REMARKS
(1)	1	3'-0" X 6'-8"	TBD	TBD	SIMPSON	6 LITES	3/4 LIGHT HINGED		FRONT DOOR
(2)	2	5'-4" X 6'-8"	TBD	TBD	ANDERSEN	6 LITES	FULL LITE DOUBLE HINGED		PRIMARY BEDROOM
(3)							NOT USED		
(4)	1	6'-0" X 6'-8"	TBD	TBD	ANDERSEN	FULL	FULL LITE SLIDING		GARAGE
(5)	1	8'-0" X 8'-0"	TBD	TBD	TBD	N/A	SLIDING BARN DOOR		GARAGE
(6)	3	8'-0" X 8'-0"	TBD	TBD	TBD	N/A	OVERHEAD GARAGE DOOR		GARAGE

1. All exterior doors TBD in color.  
2. Verify handing in field prior to ordering.

3 NEW DOOR SCHEDULE  
A2.1 1/4"=1'-0"



4 DOOR COLOR - "DUTCH DOOR GREEN"  
A2.1 1/4"=1'-0"



5 METAL ROOF COLOR - CHARCOAL GREY  
A2.1 1/4"=1'-0"

AN ADDITION FOR:  
SUSIE AND JOHN LITTLEFIELD  
11 HOLLY LANE  
BARNSTABLE

TITLE:

ELEVATIONS

831 Main Street  
Dennis MA 02638  
508.694.7887 phone  
www.a3architectsinc.com

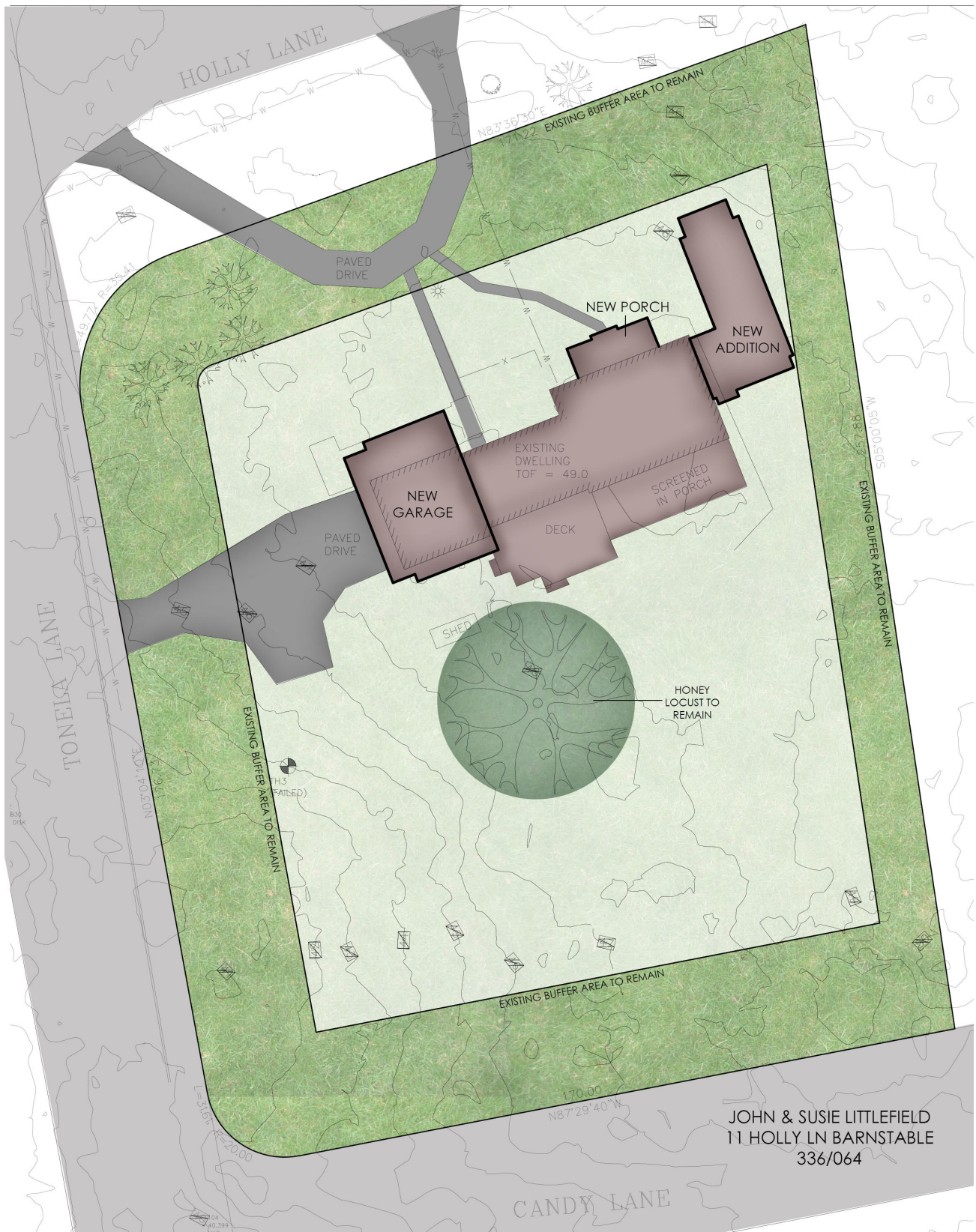
**A3**architects, inc  
Residential Commercial Net Zero

NOTICE OF COPYRIGHT:  
THIS DRAWING IS THE PROPERTY OF THE ARCHITECT HAS BEEN PREPARED SPECIFICALLY FOR THE  
OWNER FOR THIS PROJECT AT THIS SITE AND IS NOT TO BE USED WITHOUT WRITTEN CONSENT OF  
THE ARCHITECT © A3 ARCHITECTS, INC. 2022

DATE: 07/15/2021  
SD: 09/22/2021  
HDC: 02/16/2022

A2.1





# LANDSCAPE PLAN





FRONT ELEVATION (VIEW FROM HOLLY LN)



FRONT ELEVATION (VIEW FROM HOLLY LN)





GARAGE VIEW (FROM TONELA LN)



VIEW OF BACK ELEVATION





WEST SIDE OF PRPOERTY (FROM HOLLY LN)

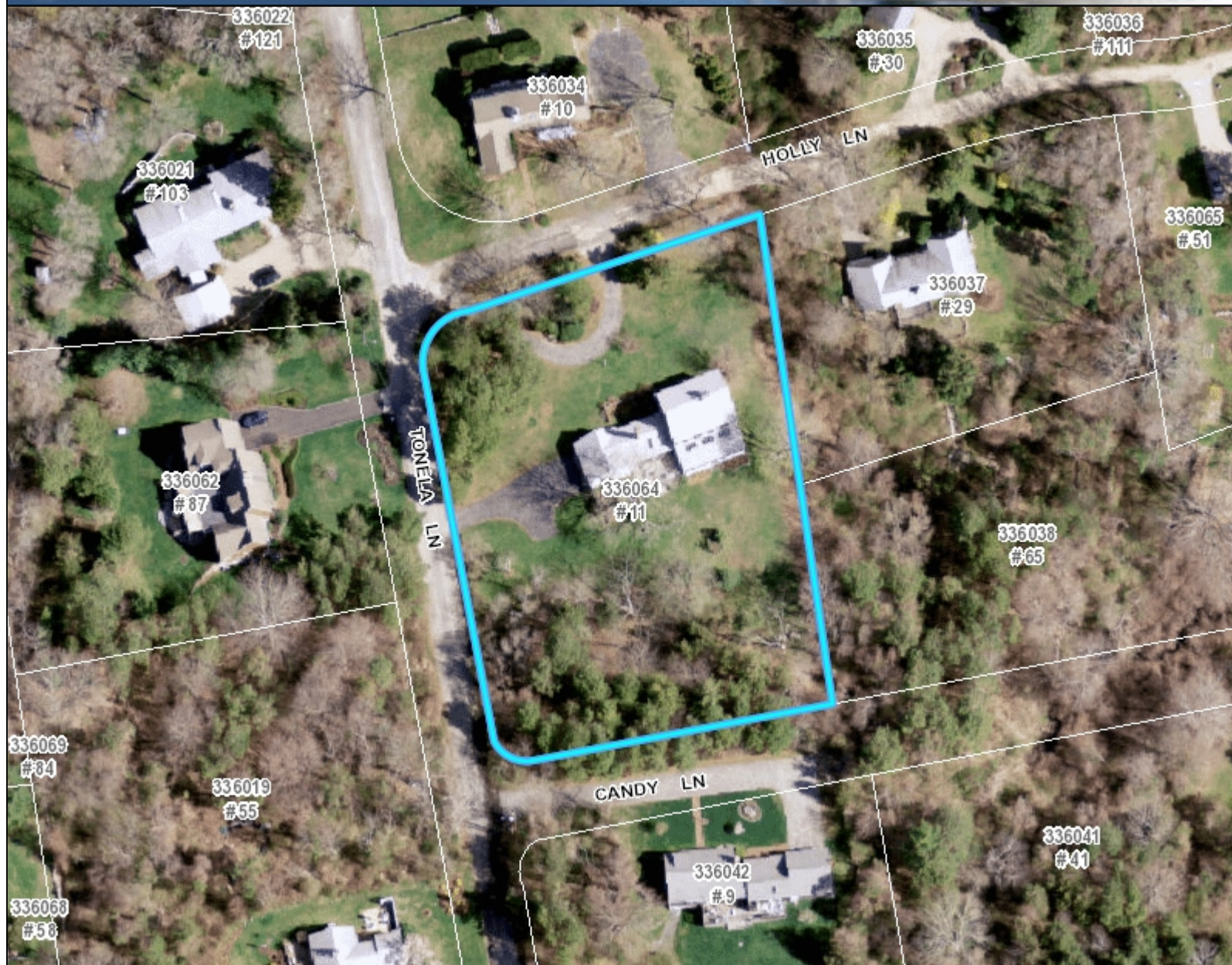


EAST ELEVATION



## Legend

Road Names



Map printed on: 3/3/2022

0 83 167 Feet

Approx. Scale: 1 inch = 83 feet

This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



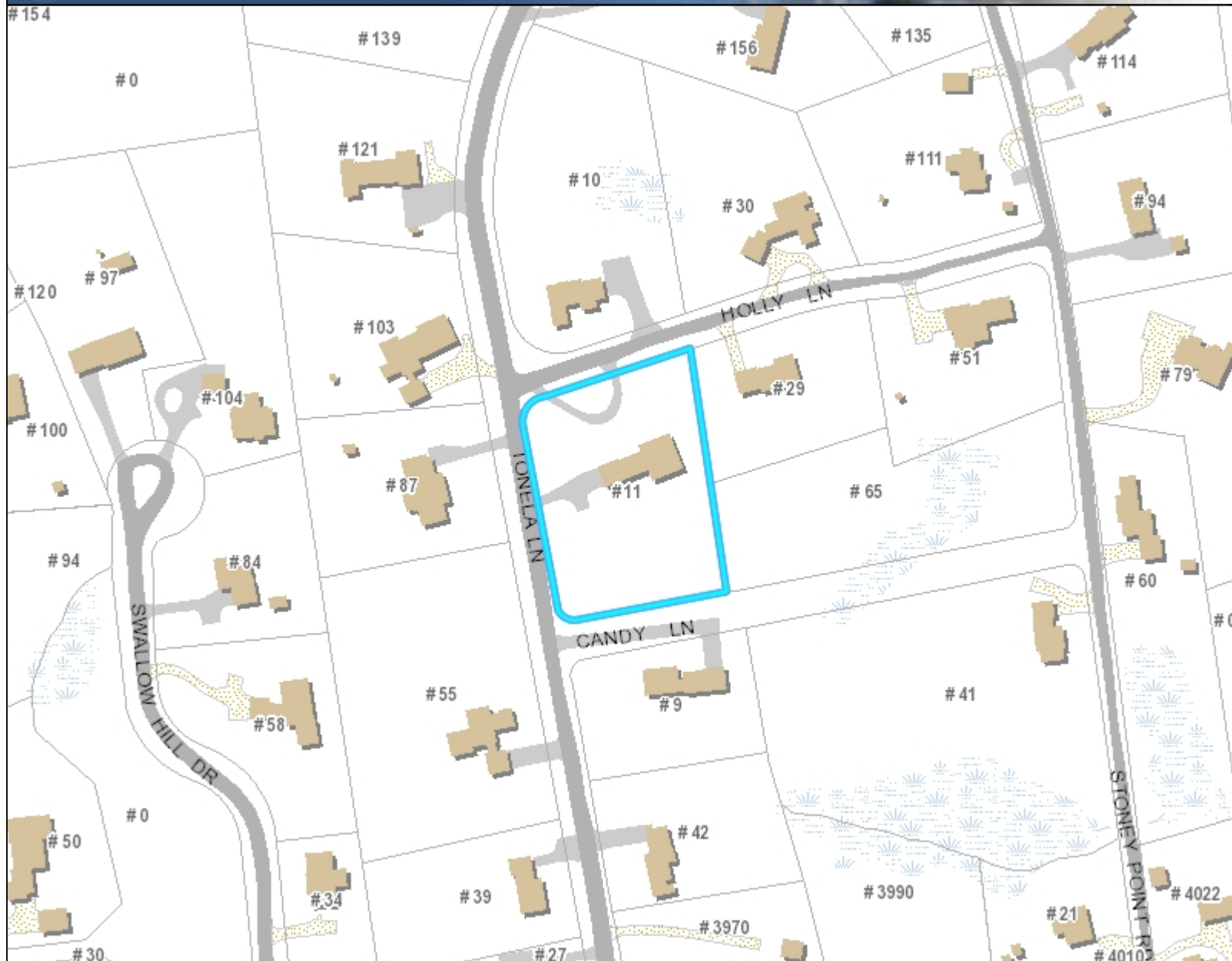
## Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



**Legend**

- Parcels
- Town Boundary
- + Railroad Tracks
- Buildings
  - Approx. Building
  - Buildings
- Painted Lines
- Parking Lots
  - Paved
  - Unpaved
- Driveways
  - Paved
  - Unpaved
- Roads
  - Paved Road
  - Unpaved Road
- Bridge
  - Bridge
- Paved Median
  - Paved Median
- Streams
- Marsh
- Water Bodies

Map printed on: 3/3/2022

0 167 333 Feet

Approx. Scale: 1 inch = 167 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.

**Town of Barnstable GIS Unit**

367 Main Street, Hyannis, MA 02601

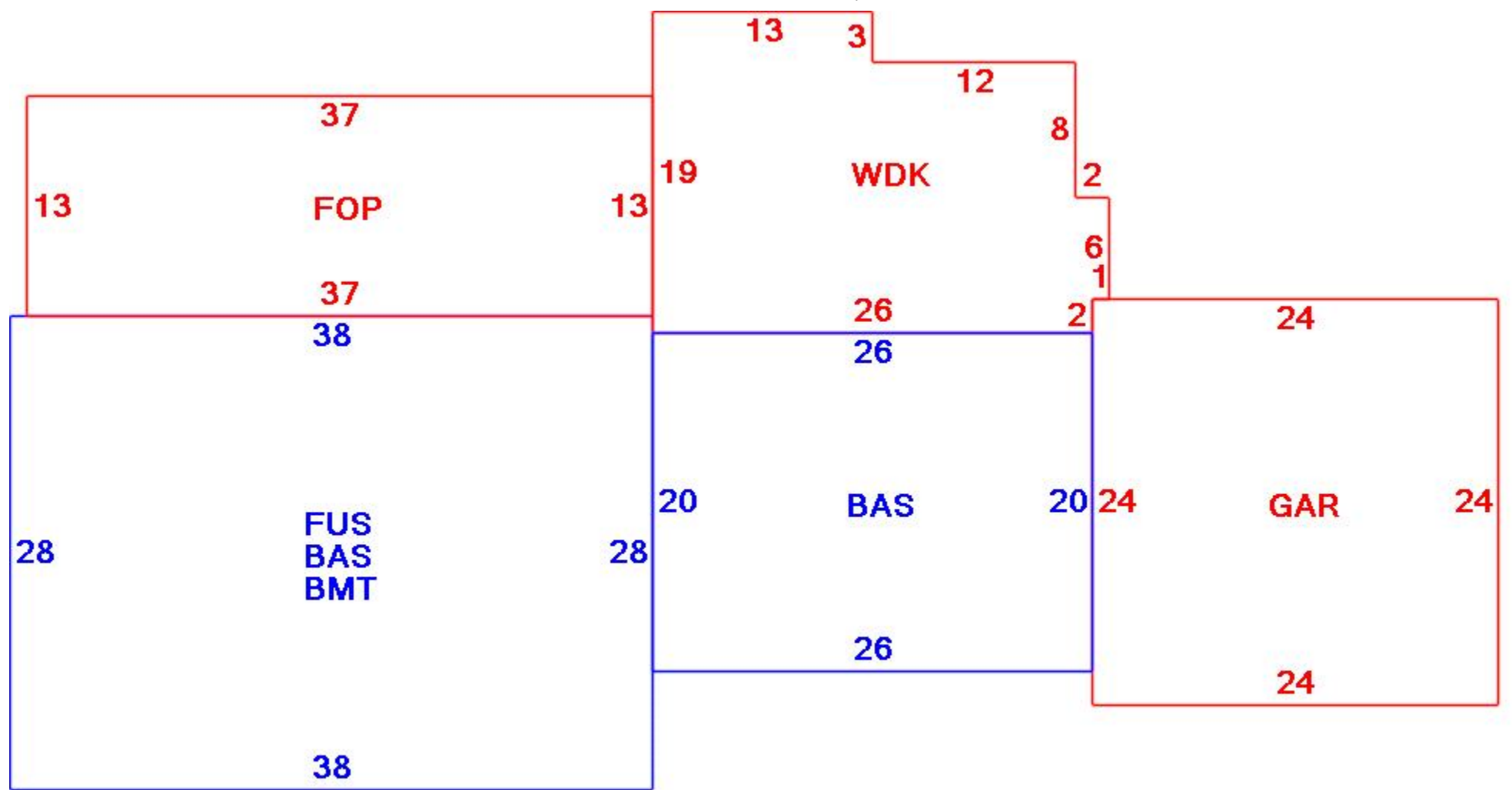
508-862-4624

gis@town.barnstable.ma.us



1/6





▼ Permit History

Issue Date	Purpose	Permit Number	Amount	InspectionDate	Comments
08/08/2019	Deck	19-2288	\$10,000	12/13/2019	remove existing decking and replace with 5/4 x 6" IPE decking material. Enlarge deck by 53 square ft. (shaded area on plan)
11/23/2016	Addn Alt-Res	16-3373	\$21,700	05/19/2017	Remove and replace 2 center chimney (roof line up) pan flashed chim # 1, 2 flue- chim #2, 1 flue
12/14/2015	New Windows	201508598	\$5,000	06/30/2016	RESIDE
04/15/2014	Remodel	201402196	\$72,500	09/04/2014	KIT REMOD-MOVING 2 WALLS
06/10/2013	New Roof	201303787	\$15,250	06/30/2013	REROOF STRIPPING OLD
09/23/1998	Addition	33511	\$7,500	06/01/1999	

▼\_ Sale History

Line	Sale Date	Owner	Book/Page	Sale Price
1	11/29/2018	LITTLEFIELD, JOHN W JR & SUSAN S TRS	31692/0215	\$100
2	03/15/1994	LITTLEFIELD, JOHN W JR & SUSAN S	9084/0124	\$255,000
3	12/30/1970	CROSBY, JOHN B & CAROL W	1495/0292	\$0

### ▼ Assessment History

Save #	Year	Building Value	XF Value	OB Value	Land Value	Total Parcel Value
1	2022	\$328,200	\$66,200	\$7,800	\$329,000	\$731,200
2	2021	\$296,600	\$67,000	\$7,800	\$299,000	\$670,400
3	2020	\$242,700	\$58,500	\$3,000	\$318,300	\$622,500
4	2019	\$242,700	\$58,500	\$3,200	\$318,300	\$622,700
5	2018	\$204,800	\$59,400	\$3,300	\$348,600	\$616,100
6	2017	\$196,600	\$59,500	\$3,300	\$362,000	\$621,400
7	2016	\$196,600	\$59,500	\$3,300	\$370,400	\$629,800
8	2015	\$201,800	\$54,500	\$4,000	\$348,500	\$608,800
9	2014	\$210,300	\$59,000	\$5,400	\$348,500	\$623,200



Save #	Year	Building Value	XF Value	OB Value	Land Value	Total Parcel Value
10	2013	\$210,300	\$59,000	\$5,500	\$348,500	\$623,300
11	2012	\$215,100	\$56,700	\$4,300	\$355,300	\$631,400
12	2011	\$257,300	\$6,900	\$1,100	\$355,300	\$620,600
13	2010	\$257,700	\$6,900	\$1,200	\$361,900	\$627,700
14	2009	\$292,500	\$5,000	\$600	\$321,800	\$619,900
15	2008	\$300,800	\$5,000	\$600	\$364,000	\$670,400
17	2007	\$299,800	\$5,000	\$600	\$364,000	\$669,400
18	2006	\$273,300	\$5,000	\$600	\$358,600	\$637,500
19	2005	\$245,800	\$5,000	\$600	\$310,600	\$562,000
20	2004	\$199,000	\$5,000	\$600	\$221,900	\$426,500
21	2003	\$176,300	\$5,000	\$600	\$147,200	\$329,100
22	2002	\$176,300	\$5,000	\$600	\$147,200	\$329,100
23	2001	\$176,300	\$5,500	\$600	\$147,200	\$329,600
24	2000	\$134,300	\$4,700	\$0	\$111,100	\$250,100
25	1999	\$131,100	\$4,700	\$0	\$111,100	\$246,900
26	1998	\$131,100	\$4,700	\$0	\$111,100	\$246,900
27	1997	\$148,300	\$0	\$0	\$90,000	\$238,300
28	1996	\$148,300	\$0	\$0	\$90,000	\$238,300
29	1995	\$148,300	\$0	\$0	\$90,000	\$238,300
30	1994	\$142,800	\$0	\$0	\$90,000	\$232,800
31	1993	\$142,800	\$0	\$0	\$90,600	\$233,400
32	1992	\$162,200	\$0	\$0	\$100,000	\$262,200
33	1991	\$153,800	\$0	\$0	\$122,200	\$276,000
34	1990	\$153,800	\$0	\$0	\$122,200	\$276,000
35	1989	\$153,800	\$0	\$0	\$122,200	\$276,000
36	1988	\$125,700	\$0	\$0	\$53,000	\$178,700
37	1987	\$125,700	\$0	\$0	\$53,000	\$178,700
38	1986	\$125,700	\$0	\$0	\$53,000	\$178,700

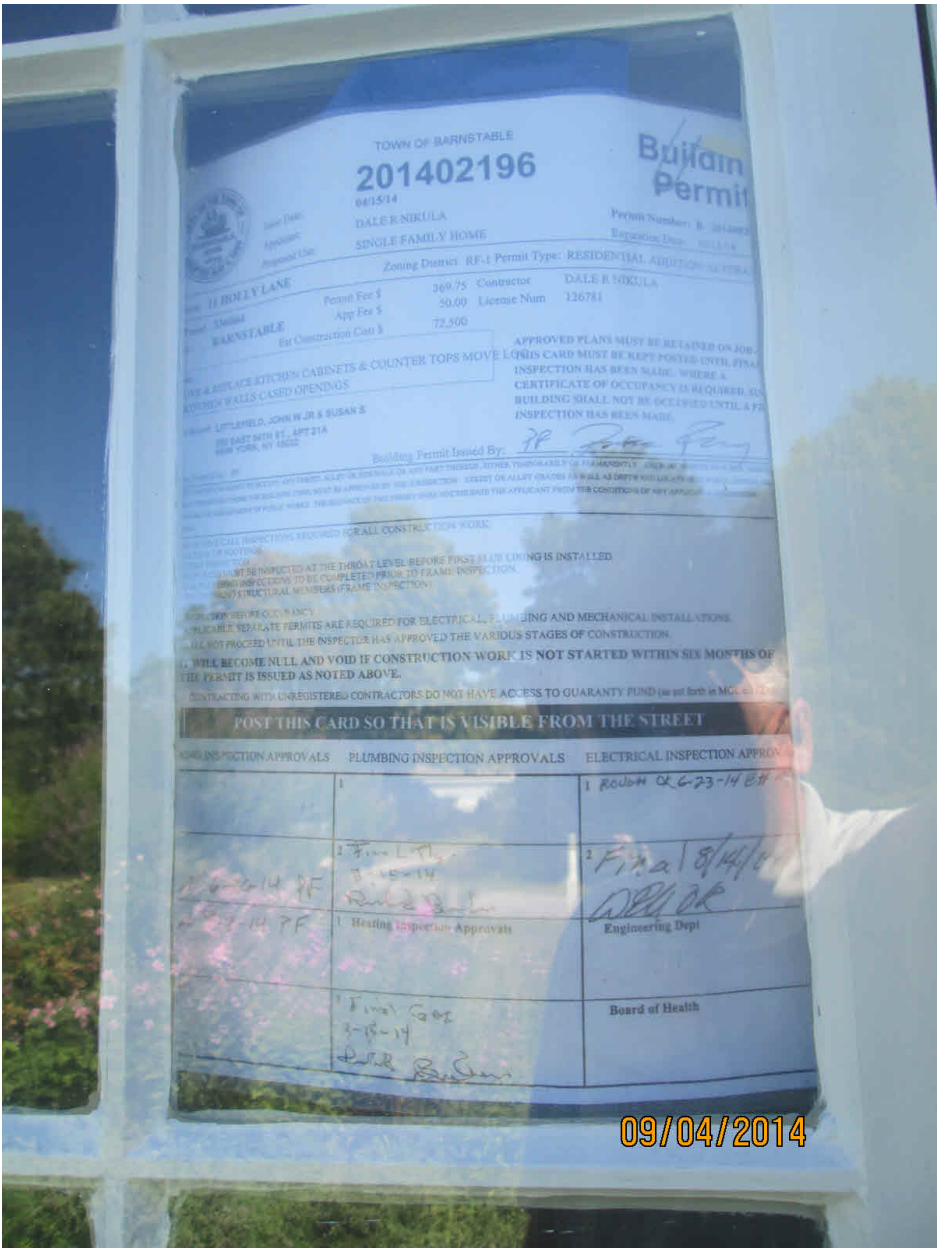
Photos

















Property ID: 336019

MULAK. JOHN H & ELIZABETH JEAN TRS  
MULAK FAMILY TRUST  
PO BOX 144  
55 TONELA LANE  
YARMOUTH PORT, MA 02675

Property ID: 336021

DOHERTY. ROBERT J & ELIZABETH R  
PO BOX 1113  
BARNSTABLE. MA 02630

Property ID: 336034

SWEENEY. JOSEPH C & ALICE QUILL  
ONE LINCOLN PLAZA. APT 12L  
NEW YORK. NY 10023

Property ID: 336037

CONRAD. LISA M & WESTON. NEIL C  
PO BOX 438  
CUMMAQUID. MA 02637

Property ID: 336038

ANDERSON. PATRICIA J & MELISSA J  
PO BOX 14  
CUMMAQUID. MA 02637

Property ID: 336042

GUERTIN. JOANNE E  
9 CANDY LN  
CUMMAQUID. MA 02637

Property ID: 336062

MASTROMAURO. FRANK JR & JANET A  
87 TONELA LANE  
BARNSTABLE. MA 02630

Property ID: 336064

LITTLEFIELD. JOHN W JR & SUSAN S TRS  
JOHN & SUSAN LITTLEFIELD NOMINEE TRUST  
PO BOX 409  
CUMMAQUID. MA 02637





**Town of Barnstable**  
**Old King's Highway Historic District Committee**  
200 Main Street, Hyannis, Massachusetts 02601  
Telephone (508) 862-4787, Email [grayce.rogers@town.barnstable.ma.us](mailto:grayce.rogers@town.barnstable.ma.us)



**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

Application is hereby made, with six (6) complete, colored sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Date \_\_\_\_\_ Map & Parcel 235/052/000

Property Owner Robert E. Kennedy Phone 508 776 7316  
Christina Mendez Kennedy  
Street address 3885 MAIN ST Email rekennedy3@verizon.net  
Village BARNSTABLE  
Mailing address 3885 Main St. Barnstable 02630 Signature Robert E. Kennedy

Agent/Contractor \_\_\_\_\_ Phone \_\_\_\_\_  
Agent Address \_\_\_\_\_ Email \_\_\_\_\_  
Agent Signature \_\_\_\_\_

If approved, the Certificate of Appropriateness expires one year from the stamped approval date or upon the expiration of a Building Permit, whichever date shall be later. A one year extension may be requested, in writing, to the Old King's Highway Administrative Assistant at 200 Main Street, Hyannis, MA 02601. This request must be received prior to the date of expiration.

There is a 10 day appeal period plus a four day waiting period for all applications after which time your approval paperwork will be available for pickup and building permit sign-off. All applications are subject to meeting any applicable building code requirements.

Building Construction	<input type="checkbox"/> New Build	<input type="checkbox"/> Additi	Check all categories that apply		<input type="checkbox"/> Residential	<input type="checkbox"/>
Type of Building	<input type="checkbox"/> House	<input type="checkbox"/> Garage	<input type="checkbox"/> Barn	<input type="checkbox"/> Shed	<input type="checkbox"/> Commercial	<input type="checkbox"/> Other
Project	<input type="checkbox"/> Roof	<input type="checkbox"/> Windows/Doors	<input type="checkbox"/> Siding/Painting	<input type="checkbox"/> Solar	<input type="checkbox"/>	<input type="checkbox"/> Other
Landscape Feature	<input type="checkbox"/> Fence	<input type="checkbox"/> Wall	<input type="checkbox"/> Flag Pole	<input type="checkbox"/> Pool	<input type="checkbox"/>	<input type="checkbox"/> Other
Signs	<input type="checkbox"/> New Sign	<input type="checkbox"/> Replace Sign	<input type="checkbox"/> Repaint Sign	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Other

Description of Proposed Work To construct a front porch

**DENIED**

for Committee use only This Certificate is hereby **APPROVED**

By a vote of \_\_\_\_\_ Aye \_\_\_\_\_ Nay \_\_\_\_\_ Abstain \_\_\_\_\_ Date \_\_\_\_\_

Members signatures \_\_\_\_\_

Conditions of Approval \_\_\_\_\_

CK H1918



# CERTIFICATE OF APPROPRIATENESS – SPEC SHEET

**CHIMNEY** Material  Color

**ROOF** Make & style  Color

Roof Pitch (s) – (7/12 minimum)  (specify on plans for new building & major additions)

**GUTTER** Type/Material  Color

## WINDOWS, DOORS, TRIM, SHUTTERS, SKYLIGHTS

**Window/Door Trim material** Wood  Other specify

Size of cornerboards  Size of casings (1X4 min)  Color

Rakes 1<sup>st</sup> member  2<sup>nd</sup> Member  Depth of overhang

**Windows:** Make/Model  Material  Color

**Window Grills** Divided Light ☐ Exterior Glued Grills ☐ Grills Between Glass ☐

Removable Interior Grills ☐ No Grills ☐ Grill Pattern

**Doors:** Style & Make  Material  Color

**Garage doors:** Style  Size of opening  Material

Color

**Shutters:** Type & Style  Material  Color

**Skylights:** Type  Make & Model

Material  Size  Color

**SIDING** Type Clapboard ☐ Shingle ☐ Other ☐

Material Red Cedar ☐ White Cedar ☐ Other ☐

Paint Color

**FOUNDATION** Type  (max 12' exposed)

**DECK** Material  Color

**SIGNS** Size  Materials  Color

**FENCE** Type (split rail, chain link)  Color

Material  Length

**RETAING WALL** Description

**LIGHTING** Type and location (free standing affixed to structure, illuminated)



# NEW BUILDINGS, ADDITION, OR COMMERICAL BUILDING CHECKLIST – CERTIFICATE OF APPROPRIATENESS

*Submit Six (6) complete colored sets, unless otherwise noted*

..... **Application for Certificate of Appropriateness**

..... **Spec Sheet**, brochures or diagram

..... **Site Plan**

- ..... Name of applicant, street location, map and parcel
- ..... Name of architect, engineer, or surveyor; original stamp & signature; date of plan & revision dates
- ..... North arrow, written and drawn to scale
- ..... Changes to existing grades shown with one-foot contours
- ..... Proposed & existing footprint of building and/or structures, and distance to lot lines
- ..... Proposed driveway location
- ..... Proposed limits of clearing for building (s), assessor structure (s), driveway and septic system
- ..... Retaining walls or accessory structures (e.g. pool, tennis court, cabana, barn, garage, etc)

..... **Building Elevations**

- ..... Plans at scale of  $\frac{1}{4}" = 1$  foot; a written drawn scale
- ..... Plans at a reduced scale to fit 8.5"x11 or 11x17 paper
- ..... Name of applicant, street location, map and parcel
- ..... Name of Building Designer, or architect; original signature of plan preparer and stamp; plan date, and all revision dates.  
*\*All new house or commercial building plans must have an original signature and stamp, if any, by a registered Architect, member of AIBD, or a licensed Massachusetts Home Improvement Contractor, unless this requirement is waived by the Old King's Highway Historic District Committee.*
- ..... A written and bar drawn scale
- ..... Elevations of all (affected) sides of the building, with dimensions including height from the natural grade adjacent to the Building to the top of the ridge; location and elevation of finished grade, roof pitch (s) dormer setbacks; trim style, window And door styles. Changes to existing building must be clouded on drawings.
- ..... Window schedule on plans

..... **Landscape Plan** (drawn on a certified perimeter plan containing the following)

- ..... Name of applicant, street address, assessor's map and parcel number
- ..... Name, address, and telephone number of the plan preparer, plan date, & date of revisions
- ..... The location of existing and proposed buildings and structures, and lot lines
- ..... Natural features of site (i.e. rock outcroppings, streams, wetlands, etc)
- ..... Existing buffer areas to remain
- ..... Location and species of trees and plants
- ..... Driveway, parking areas, walkways, and patios, indicating materials to be used
- ..... Existing stone walls, and proposed walls including retaining walls for slope retention or septic systems  
*For removal of stone walls, you must file a demolition application*
- ..... All proposed exterior lighting and signs

..... **Sketch or Photos of adjacent properties**

- ..... A sketch (s) to scale or photographs of nearby adjacent buildings, where present, along both sides of the street frontage,
- ..... Showing the proposed new house or commercial building in scale and in relationship to the existing buildings.  
*Please discuss with staff if you do not think this is relevant to your application.*

..... **Photographs of all sides of existing buildings** to remain or being added to

**Existing building, foot print**

Building 1 (sq. ft.) \_\_\_\_\_ Building 2 (sq. ft.) \_\_\_\_\_

**Existing building, gross floor area, including area of finished basement**

Building 1 (sq. ft.) \_\_\_\_\_ Building 2 (sq. ft.) \_\_\_\_\_

**New Building or addition, foot print**

Building 1 (sq. ft.) \_\_\_\_\_ Building 2 (sq. ft.) \_\_\_\_\_

**New Building or addition, gross floor area, including area of finished basement**

Building 1 (sq. ft.) \_\_\_\_\_ Building 2 (sq. ft.) \_\_\_\_\_

**Plan preparer, signature and date**

\_\_\_\_\_



## CHECKLIST – CERTIFICATE OF APPROPRIATENESS

*Please complete the Checklist that is applicable to your project.*

*Submit six (6) complete colored sets, unless otherwise noted*

### FEES

- .... Filing Fee according to fee schedule, please make checks payable to the Town of Barnstable
- .... Legal Ad fee, in the amount of **\$19.84**, made payable to the Town of Barnstable
- .... First Class Postage Stamps for abutter notification. Please contact Barnstable Old King's Highway Office for correct count

### ALTERATIONS *(new paint color, change of siding material, roofing, windows, doors, shutters, etc)*

- .... Application for Certificate of Appropriateness
- .... Spec Sheet, brochures and color samples
- .... Plans of building elevations/photographs, ONLY if there is a change to the location and size of the window (s) or Door (s).

### MINOR ADDITIONS *(decks, enclosing a porch, sheds (over 120 sqft)*

- .... Application for Certificate of Appropriateness,
- .... Spec Sheet, brochures and color samples
- .... Site Plan, ONLY if there are changes to the footprint *(see site plan criteria below)*
  - A site plan drawn on a mortgage survey plan or GIS map may be used for minor additions, UNLESS the porch, deck, pool, or Shed etc. is close to lot lines, zoning setback lines, or other buildings, in which case a certified site plan must be submitted
- .... Photographs of all building elevation affected by any proposed alterations
- .... Plans 2 full scale plans, plus 4 copies of the plan at reduced scale to fit 8.5x11 or 11x17 paper
  - Company brochure of manufacturers shed or to-scale sketch or affected structure or building elevations

### ACCESSORY STRUCTURES, NEW/ALTERED *(fences, new stonewalls, changes to retaining walls, pools etc)*

- .... Application for Certificate of Appropriateness
- .... Spec Sheet, brochures &/or diagram
- .... Site Plan *(see site plan criteria below)*
- .... Photographs of any existing structure that will be affected by the change

### SIGNS *(complete sign supplement)*

- .... Rendering of the proposed sign, showing graphics, dimensions, design and height of post, color, and materials
- .... Site Plan on GIS map or mortgage survey, or photographs, or to-scale sketch of building elevation showing location of Proposed sign; and any tree to be removed near a freestanding sign *(see below for site plan criteria)*

### SOLAR PANELS *(complete solar panel supplement)*

- .... Drawing of locations of panels on house showing roof and panel dimensions
- .... Site Plan showing location of building on property *(see site plan criteria below)*

### SITE PLAN CRITERIA

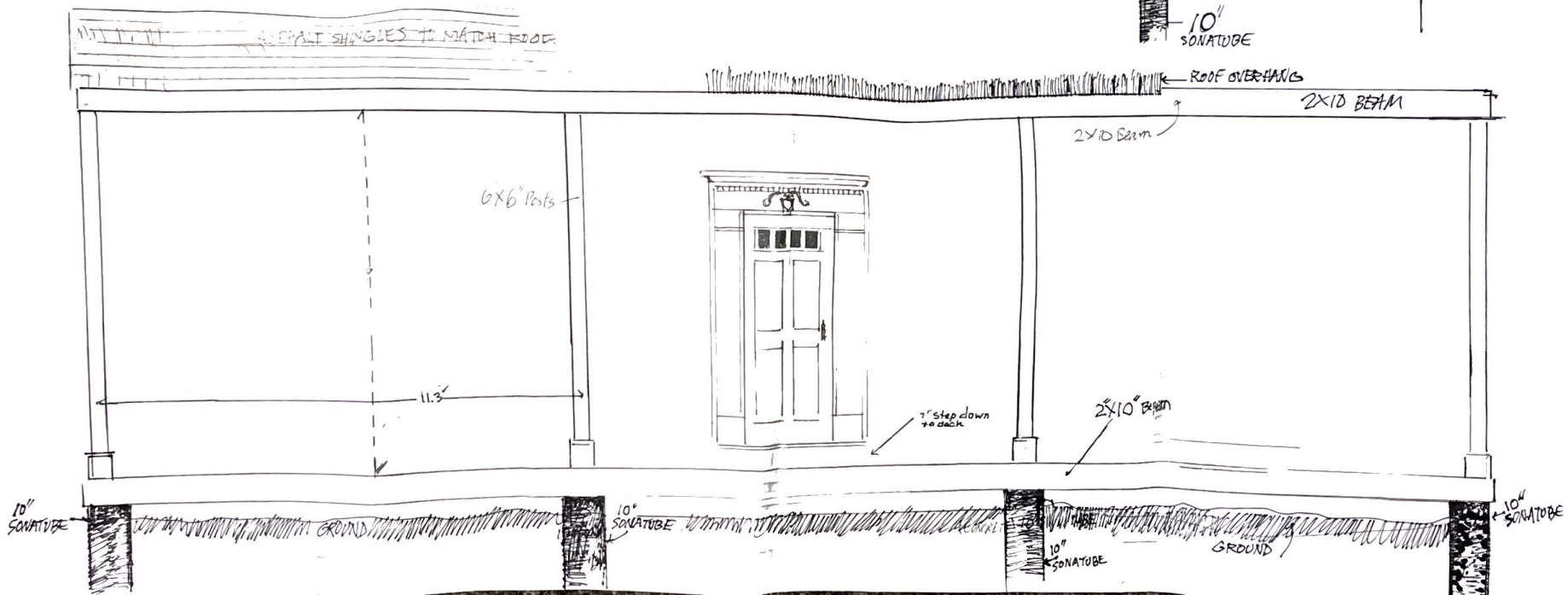
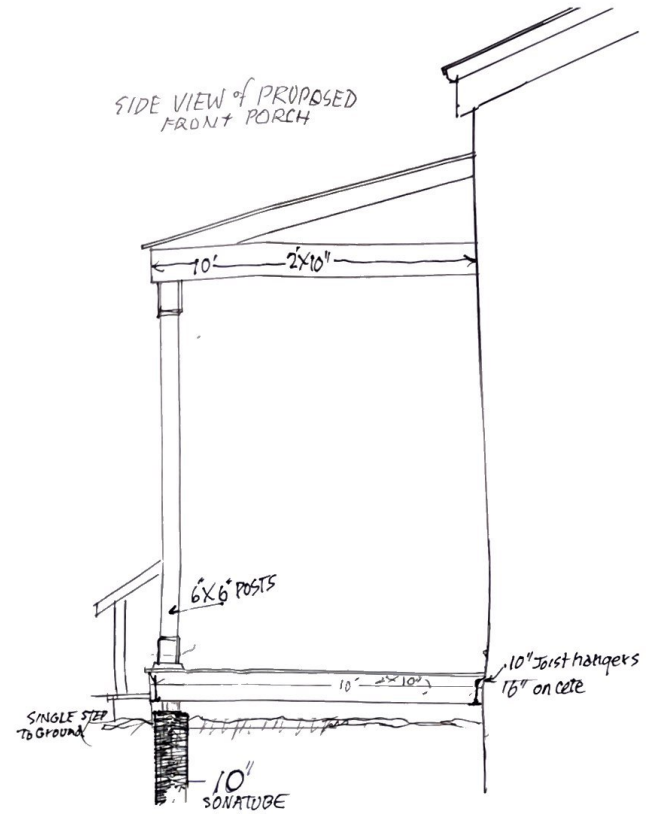
- .... Name of applicant, street location, map and parcel
- .... Name of architect, engineer, or surveyor; original stamp & signature; date of plan & revision dates
- .... North arrow, written and drawn to scale
- .... Changes to existing grades shown with one-foot contours
- .... Proposed & existing footprint of building and/or structures, and distance to lot lines
- .... Proposed driveway location
- .... Proposed limits of clearing for building (s), accessory structure (s), driveway and septic system
- .... Retaining walls or accessory structures (e.g. pool, tennis court, cabana, barn, garage, etc)



BLDR-2-1530 Steven Connor.



**Proposed front Porch**  
For 3885 Main Street, Barnstable  
Residence of Robert and Christina-Mendez Kennedy





←

Parcel: 335-052

Location: 3885 MAIN ST./RTE 6A(BARN.), Barnstable

Owner: KENNEDY, ROBERT E & CHRISTINA R MENDEZ-



Parcel 335-052	Developer lot:	Secondary road MARY DUNN ROAD
Location 3885 MAIN ST./RTE 6A(BARN.)	Road type Town & State	Road index 0949
Village Barnstable	Fire district Barnstable	Interactive map 
Town sewer account No	Property Record Card <a href="#">Property Record Card PDF File</a>	
CWMP Sewer Expansion (subject to change with final engineering design) None planned at this time		

Asbuilt septic scan  
[335052\\_1](#) , [335052\\_2](#)

▼\_Owner: KENNEDY, ROBERT E & CHRISTINA R MENDEZ-

Owner KENNEDY, ROBERT E & CHRISTINA R MENDEZ-	Co-Owner	Book page 33225/0105
Street1 3885 MAIN STREET	Street2	Street3
City BARNSTABLE	County	State Zip Country MA 02630

▼\_ Land

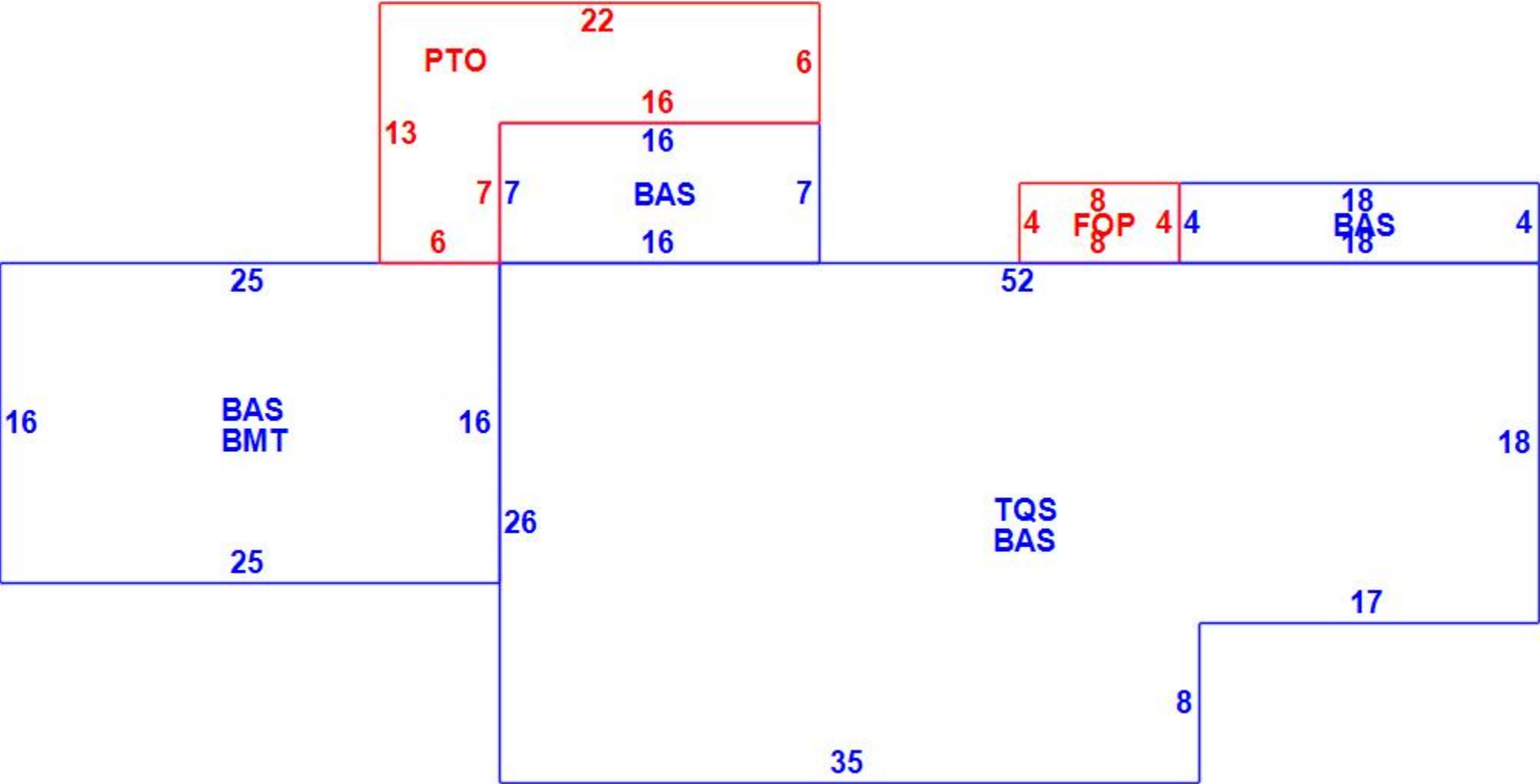
Acres 2.25	Use Single Fam M-01	Zoning RF-2	Neighborhood 0109
Topography Level	Street factor Paved	Town Zone of Contribution AP (Aquifer Protection Overlay District)	
Utilities Public Water,Gas,Septic	Location factor	State Zone of Contribution OUT	

▼\_ Construction

▼\_ Building 1 of 1

Year built 1953	Roof structure Gable/Hip	Heat type Hot Water
Living area 2590	Roof cover Asph/F GlS/Cmp	Heat fuel Gas
Gross area 3622	Exterior wall Wood Shingle	AC type None
Style Cape Cod	Interior wall Plastered	Bedrooms 4 Bedrooms
Model Residential	Interior floor Hardwood	Bath rooms 4 Full-0 Half
Grade Average Plus	Foundation	Total rooms 8 Rooms
Stories 1.75		





▼ Permit History

Issue Date	Purpose	Permit Number	Amount	InspectionDate	Comments
04/07/2021	Solar Panel-Res	BLDR-21-220	\$3,753		roof mounted pv solar panels- 4.095Kw system- 13 total panels- 125A
12/03/2020	Pool - Inground	B-20-3586	\$50,000	05/12/2021	Proposed Installation of new vinyl lined steel walled inground pool.
12/03/2018	Insulation	18-3856	\$5,520	06/30/2019	Air Sealing & Weatherization
10/10/2018	Sid/Wind/Roof/Door	18-3325	\$3,000	06/30/2019	roof - dumpster
02/19/2003	Wood Deck	67052	\$1,750	02/17/2004	
04/29/1999	New Roof	38078	\$5,000		
04/13/1999	New Siding	37761	\$2,100		
12/14/1998	New Siding	35361	\$1,000		
02/02/1983	Addition	B24800	\$12,000	05/15/1985	

▼ Sale History

Line	Sale Date	Owner	Book/Page	Sale Price
1	09/02/2020	KENNEDY, ROBERT E & CHRISTINA R MENDEZ-	33225/0105	\$587,000
2	05/10/2018	BROWNE, MICHAEL & MCSWEENEY MARY TRS	31258/0268	\$1
3	08/10/2001	BROWNE, MICHAEL D & MCSWEENEY, MARY P	14129/0326	\$450,000
4	03/23/2000	ANDERSON, CLAIRE TR	12898/0182	\$100
5	09/15/1988	ANDERSON, LEROY F & CLAIRE	6442/0299	\$282,500
6	08/21/1964	SCHAFER, WALTER C & HELEN C	1267/0211	\$0

▼ Assessment History

Save #	Year	Building Value	XF Value	OB Value	Land Value	Total Parcel Value
1	2022	\$348,000	\$17,300	\$60,300	\$278,200	\$703,800
2	2021	\$292,200	\$17,400	\$16,600	\$304,600	\$630,800
3	2020	\$274,800	\$15,600	\$12,900	\$307,700	\$611,000
4	2019	\$241,500	\$15,000	\$12,400	\$271,000	\$541,800

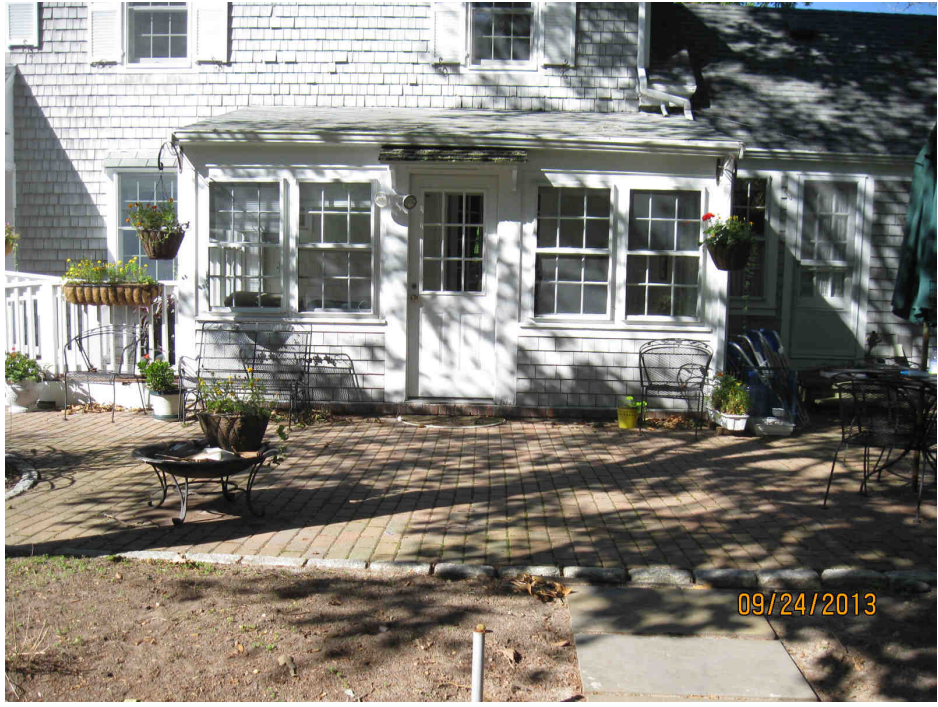


Save #	Year	Building Value	XF Value	OB Value	Land Value	Total Parcel Value
5	2018	\$200,600	\$15,900	\$13,800	\$323,900	\$554,200
6	2017	\$187,600	\$16,300	\$15,300	\$323,900	\$543,100
7	2016	\$187,600	\$16,300	\$15,300	\$323,800	\$543,000
8	2015	\$195,500	\$16,800	\$12,100	\$310,000	\$534,400
9	2014	\$191,400	\$17,800	\$13,500	\$310,000	\$532,700
10	2013	\$191,400	\$17,800	\$13,700	\$310,000	\$532,900
11	2012	\$195,600	\$17,500	\$12,300	\$324,000	\$549,400
12	2011	\$208,200	\$3,700	\$11,700	\$380,300	\$603,900
13	2010	\$207,800	\$3,700	\$12,200	\$387,400	\$611,100
14	2009	\$209,100	\$2,700	\$9,700	\$336,500	\$558,000
15	2008	\$217,300	\$2,700	\$9,700	\$320,700	\$550,400
17	2007	\$251,300	\$2,700	\$9,700	\$320,700	\$584,400
18	2006	\$250,800	\$2,700	\$10,100	\$326,400	\$590,000
19	2005	\$226,800	\$2,700	\$10,400	\$296,800	\$536,700
20	2004	\$186,800	\$2,700	\$10,600	\$227,500	\$427,600
21	2003	\$157,600	\$2,700	\$11,000	\$130,000	\$301,300
22	2002	\$157,600	\$2,700	\$11,000	\$130,000	\$301,300
23	2001	\$157,600	\$2,800	\$11,000	\$130,000	\$301,400
24	2000	\$128,900	\$2,500	\$11,500	\$78,900	\$221,800
25	1999	\$128,900	\$2,500	\$9,700	\$78,900	\$220,000
26	1998	\$128,900	\$2,500	\$6,500	\$78,800	\$216,700
27	1997	\$130,600	\$0	\$0	\$63,600	\$198,400
28	1996	\$130,600	\$0	\$0	\$63,600	\$198,400
29	1995	\$130,600	\$0	\$0	\$63,600	\$198,400
30	1994	\$120,600	\$0	\$0	\$71,500	\$196,800
31	1993	\$129,000	\$0	\$0	\$88,900	\$222,600
32	1992	\$147,000	\$0	\$0	\$96,400	\$248,700
33	1991	\$139,600	\$0	\$0	\$141,400	\$288,200
34	1990	\$139,600	\$0	\$0	\$141,400	\$288,200
35	1989	\$139,600	\$0	\$0	\$141,400	\$288,200
36	1988	\$140,100	\$0	\$0	\$64,300	\$210,200
37	1987	\$140,100	\$0	\$0	\$64,300	\$210,200
38	1986	\$140,100	\$0	\$0	\$64,300	\$210,200

Photos



















Map printed on: 3/3/2022

0 167 333 Feet

Approx. Scale: 1 inch = 167 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.

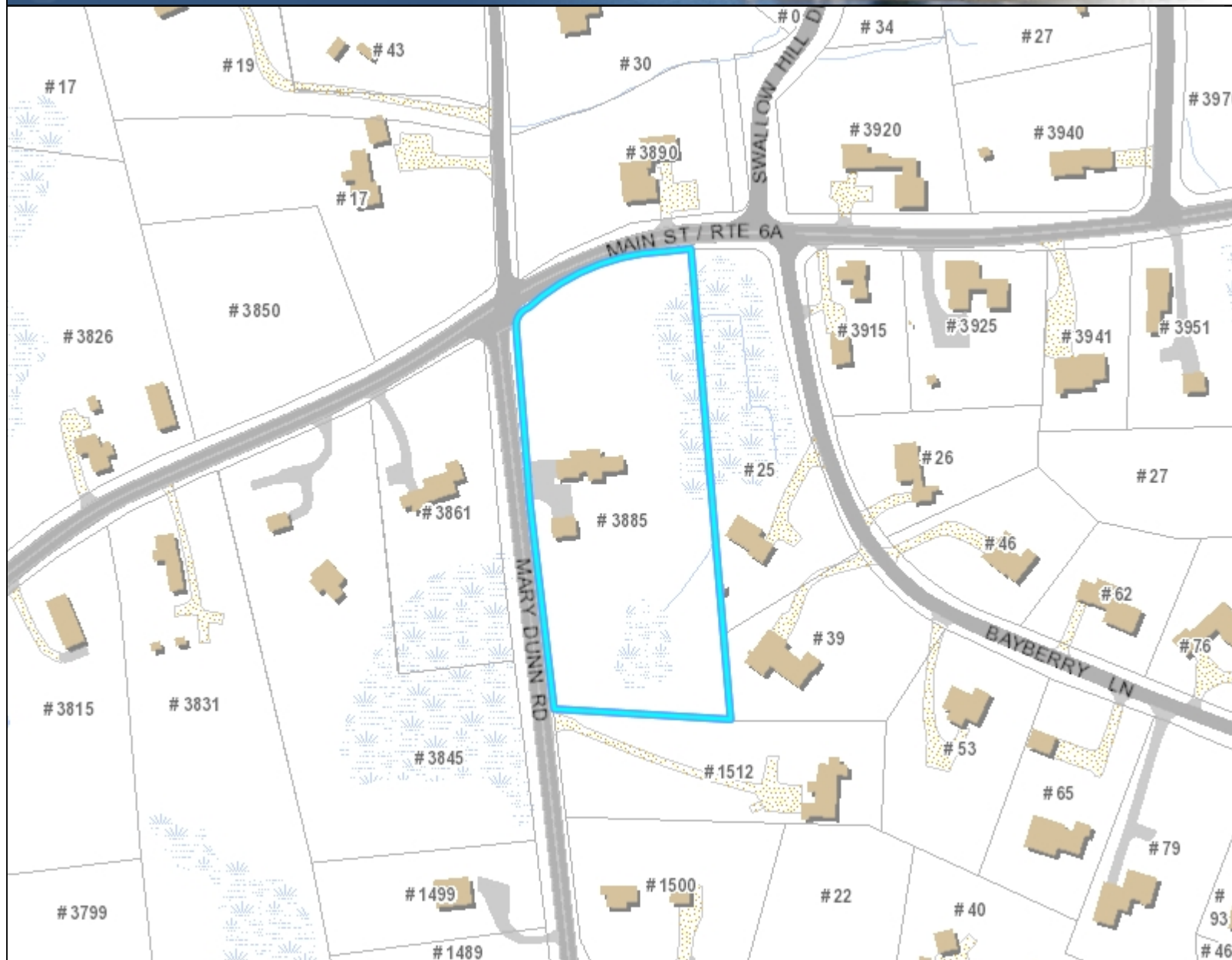
**Town of Barnstable GIS Unit**

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



**Legend**

- Parcels
- Town Boundary
- + Railroad Tracks
- Buildings
  - Approx. Building
  - Buildings
- Painted Lines
- Parking Lots
  - Paved
  - Unpaved
- Driveways
  - Paved
  - Unpaved
- Roads
  - Paved Road
  - Unpaved Road
- Bridge
  - Bridge
- Paved Median
  - Paved Median
- Streams
- Marsh
- Water Bodies

Map printed on: 3/3/2022

0 167 333 Feet

Approx. Scale: 1 inch = 167 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.

**Town of Barnstable GIS Unit**

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



Property ID: 335008001

BURROWS. JAMES A  
P O BOX 322  
CUMMAQUID. MA 02637

Property ID: 335008002

MCCULLOUGH. E TIMOTHY & LAURA G TRS  
MCCULLOUGH FAMILY TRUST  
4926 INDIAN DEER ROAD  
WINDERMERE. FL 34786

Property ID: 335019

WEBB. GRANT & HOWITT. SARAH K  
216 TRINITY PASS ROAD  
POND RIDGE. NY 10576

Property ID: 335021

JUAN. YU WEN & MCCABE. JASON  
320 MADISON STREET  
BROOKLYN. NY 11216

Property ID: 335043

KILROY. JOHN E TR  
JOHN E KILROY 2019 TRUST  
38 BAYBERRY LANE  
BARNSTABLE. MA 02630

Property ID: 335044

ALBANESE. DAVID F & JILL L DRUHAN-  
25 BAYBERRY LANE  
CUMMAQUID. MA 02637

Property ID: 335052

KENNEDY. ROBERT E & CHRISTINA R  
3885 MAIN STREET  
BARNSTABLE. MA 02630

Property ID: 335053

BLAKELY. GEORGE W TR  
GEORGE W BLAKELY 2018 TRUST  
PO BOX 206  
BARNSTABLE. MA 02630





**Town of Barnstable**  
**Old King's Highway Historic District Committee**  
200 Main Street, Hyannis, Massachusetts 02601  
Telephone (508) 862-4787, Email [grayce.rogers@town.barnstable.ma.us](mailto:grayce.rogers@town.barnstable.ma.us)



**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

Application is hereby made, with six (6) complete, colored sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Date 2/16/2022 **Map & Parcel** 315 / 030/

**Property Owner** Erik Dasque Phone (617) 953-9104

Street address 113 Boulder Rd Email \_\_\_\_\_

Village Barnstable

Mailing address 150 NAPLES ROAD BROOKLINE, MA. 02446 Signature see attached contract

**Agent/Contractor** Tesla Energy/ Nathan Tissot Phone 781-635-1030

Agent Address 125 John Hancock Rd Taunton MA 02780 Email ntissot@tesla.com

Agent Signature Nathan Tissot

If approved, the Certificate of Appropriateness expires one year from the stamped approval date or upon the expiration of a Building Permit, whichever date shall be later. A one year extension may be requested, in writing, to the Old King's Highway Administrative Assistant at 200 Main Street, Hyannis, MA 02601. This request must be received prior to the date of expiration.

There is a 10 day appeal period plus a four day waiting period for all applications after which time your approval paperwork will be available for pickup and building permit sign-off. All applications are subject to meeting any applicable building code requirements.

	<input type="checkbox"/> New Build	<input type="checkbox"/> Additi	<b>Check all categories that apply</b>	<input type="checkbox"/> Residential	<input type="checkbox"/>
<b>Building Construction</b>					Commercial
<b>Type of Building</b>	<input type="checkbox"/> House	<input type="checkbox"/> Garage	<input type="checkbox"/> Barn	<input type="checkbox"/> Shed	<input type="checkbox"/> Other
<b>Project</b>	<input type="checkbox"/> Roof	<input type="checkbox"/> Windows/Doors	<input type="checkbox"/> Siding/Painting	<input checked="" type="checkbox"/> Solar	<input type="checkbox"/> Other
<b>Landscape Feature</b>	<input type="checkbox"/> Fence	<input type="checkbox"/> Wall	<input type="checkbox"/> Flag Pole	<input type="checkbox"/> Pool	<input type="checkbox"/> Other
<b>Signs</b>	<input type="checkbox"/> New Sign	<input type="checkbox"/> Replace Sign	<input type="checkbox"/> Repaint Sign		<input type="checkbox"/> Other

**Description of Proposed Work** Install 31 black roof top solar panels on rear roof of home

**DENIED**

	<i>for Committee use only</i>	<b>This Certificate is hereby</b>	<b>APPROVED</b>		
	By a vote of	<u>Ave</u>	<u>Nay</u>	<u>Abstain</u>	Date _____
	<i>Members signatures</i>	_____			
	<i>Conditions of Approval</i>	_____			



## CERTIFICATE OF APPROPRIATENESS – SPEC SHEET

### CHIMNEY

Material

Color

### ROOF

Make &amp; style

Color

*Roof Pitch (s) – (7/12 minimum)**(specify on plans for new building & major additions)*

### GUTTER

Type/Material

Color

### WINDOWS, DOORS, TRIM, SHUTTERS, SKYLIGHTS

#### Window/Door Trim material

Wood

Other specify

Size of cornerboards

Size of casings (1X4 min)

Color

Rakes 1<sup>st</sup> member2<sup>nd</sup> Member

Depth of overhang

#### Windows:

Make/Model

Material

Color

#### Window Grills

Divided Light

Exterior Glued Grills

Grills Between Glass

Removable Interior Grills

No Grills

Grill Pattern

#### Doors:

Style &amp; Make

Material

Color

#### Garage doors:

Style

Size of opening

Material

Color

#### Shutters:

Type &amp; Style

Material

Color

#### Skylights:

Type

Make &amp; Model

Material

Size

Color

### SIDING

Type

Clapboard

Shingle

Other

Material

Red Cedar

White Cedar

Other

Paint Color

### FOUNDATION

Type

*(max 12' exposed)*

### DECK

Material

Color

### SIGNS

Size

Materials

Color

### FENCE

Type

*(split rail, chain link)*

Color

Material

Length

### RETAING WALL

Description

### LIGHTING

Type and location (free standing  
affixed to structure, illuminated)



# CHECKLIST – CERTIFICATE OF APPROPRIATENESS

*Please complete the Checklist that is applicable to your project.*

**Submit six (6) complete colored sets, unless otherwise noted**

## FEES

- .... **Filing Fee** according to fee schedule, please make checks payable to the Town of Barnstable
- .... **Legal Ad fee**, in the amount of **\$19.84**, made payable to the Town of Barnstable
- .... **First Class Postage Stamps** for abutter notification. Please contact Barnstable Old King's Highway Office for correct count

## ALTERATIONS *(new paint color, change of siding material, roofing, windows, doors, shutters, etc)*

- .... **Application for Certificate of Appropriateness**
- .... **Spec Sheet**, brochures and color samples
- .... Plans of building elevations/photographs, **ONLY** if there is a change to the location and size of the window (s) or Door (s).

## MINOR ADDITIONS *(decks, enclosing a porch, sheds (over 120 sqft)*

- .... **Application for Certificate of Appropriateness**,
- .... **Spec Sheet**, brochures and color samples
- .... **Site Plan**, **ONLY** if there are changes to the footprint *(see site plan criteria below)*  
A site plan drawn on a mortgage survey plan or GIS map may be used for minor additions, **UNLESS** the porch, deck, pool, or Shed etc. is close to lot lines, zoning setback lines, or other buildings, in which case a certified site plan must be submitted
- .... **Photographs** of all building elevation affected by any proposed alterations
- .... **Plans** 2 full scale plans, plus 4 copies of the plan at reduced scale to fit 8.5x11 or 11x17 paper  
Company brochure of manufacturers shed or to-scale sketch **or** affected structure or building elevations

## ASSESSORY STRUCTURES, NEW/ALTERED *(fences, new stonewalls, changes to retaining walls, pools etc)*

- .... **Application for Certificate of Appropriateness**
- .... **Spec Sheet**, brochures &/or diagram
- .... **Site Plan** *(see site plan criteria below)*
- .... **Photographs** of any existing structure that will be affected by the change

## SIGNS *(complete sign supplement)*

- .... **Rendering** of the proposed sign, showing graphics, dimensions, design and height of post, color, and materials
- .... **Site Plan** on GIS map or mortgage survey, or photographs, or to-scale sketch of building elevation showing location of Proposed sign; and any tree to be removed near a freestanding sign *(see below for site plan criteria)*

## SOLAR PANELS *(complete solar panel supplement)*

- .... **Drawing** of locations of panels on house showing roof and panel dimensions
- .... **Site Plan** showing location of building on property *(see site plan criteria below)*

## SITE PLAN CRITERIA

- .... Name of applicant, street location, map and parcel
- .... Name of architect, engineer, or surveyor; original stamp & signature; date of plan & revision dates
- .... North arrow, written and drawn to scale
- .... Changes to existing grades shown with one-foot contours
- .... Proposed & existing footprint of building and/or structures, and distance to lot lines
- .... Proposed driveway location
- .... Proposed limits of clearing for building (s), assessor structure (s), driveway and septic system
- .... Retaining walls or accessory structures (e.g. pool, tennis court, cabana, barn, garage, etc)



# NEW BUILDINGS, ADDITION, OR COMMERCIAL BUILDING CHECKLIST – CERTIFICATE OF APPROPRIATENESS

**Submit Six (6) complete colored sets, unless otherwise noted**

..... **Application for Certificate of Appropriateness**

..... **Spec Sheet**, brochures or diagram

..... **Site Plan**

- ..... Name of applicant, street location, map and parcel
- ..... Name of architect, engineer, or surveyor; original stamp & signature; date of plan & revision dates
- ..... North arrow, written and drawn to scale
- ..... Changes to existing grades shown with one-foot contours
- ..... Proposed & existing footprint of building and/or structures, and distance to lot lines
- ..... Proposed driveway location
- ..... Proposed limits of clearing for building (s), assessor structure (s), driveway and septic system
- ..... Retaining walls or accessory structures (e.g. pool, tennis court, cabana, barn, garage, etc)

..... **Building Elevations**

- ..... Plans at scale of  $\frac{1}{4}'' = 1$  foot; a written drawn scale
- ..... Plans at a reduced scale to fit 8.5"x11 **or** 11x17 paper
- ..... Name of applicant, street location, map and parcel
- ..... Name of Building Designer, or architect; original signature of plan preparer and stamp; plan date, and all revision dates.  
..... *\*All new house or commercial building plans must have an original signature and stamp, if any, by a registered Architect, member of AIBD, or a licensed Massachusetts Home Improvement Contractor, unless this requirement is waived by the Old King's Highway Historic District Committee.*
- ..... A written and bar drawn scale
- ..... Elevations of all (affected) sides of the building, with dimensions including height from the natural grade adjacent to the Building to the top of the ridge; location and elevation of finished grade, roof pitch (s) dormer setbacks; trim style, window And door styles. Changes to existing building must be clouded on drawings.
- ..... Window schedule on plans

..... **Landscape Plan** (drawn on a certified perimeter plan containing the following)

- ..... Name of applicant, street address, assessor's map and parcel number
- ..... Name, address, and telephone number of the plan preparer, plan date, & date of revisions
- ..... The location of existing and proposed buildings and structures, and lot lines
- ..... Natural features of site (i.e. rock outcroppings, streams, wetlands, etc)
- ..... Existing buffer areas to remain
- ..... Location and species of trees and plants
- ..... Driveway, parking areas, walkways, and patios, indicating materials to be used
- ..... Existing stone walls, and proposed walls including retaining walls for slope retention or septic systems  
..... *For removal of stone walls, you must file a demolition application*
- ..... All proposed exterior lighting and signs

..... **Sketch or Photos of adjacent properties**

- ..... A sketch (s) to scale or photographs of nearby adjacent buildings, where present, along both sides of the street frontage,
- ..... Showing the proposed new house or commercial building in scale and in relationship to the existing buildings.  
..... *Please discuss with staff if you do not think this is relevant to your application.*

..... **Photographs of all sides of existing buildings** to remain or being added to

**Existing building, foot print**

Building 1 (sq. ft.) \_\_\_\_\_ Building 2 (sq. ft.) \_\_\_\_\_

**Existing building, gross floor area, including area of finished basement**

Building 1 (sq. ft.) \_\_\_\_\_ Building 2 (sq. ft.) \_\_\_\_\_

**New Building or addition, foot print**

Building 1 (sq. ft.) \_\_\_\_\_ Building 2 (sq. ft.) \_\_\_\_\_

**New Building or addition, gross floor area, including area of finished basement**

Building 1 (sq. ft.) \_\_\_\_\_ Building 2 (sq. ft.) \_\_\_\_\_

**Plan preparer, signature and date**

*Nathan Tissot* 2/16/2022



# SOLAR PANEL SUPPLEMENT

## STRUCTURE ONE

### STRUCTURE TYPE

Home ☒Garage ☐Barn ☐

### ELEVATION PLACEMENT

North ☐South ☒East ☐West ☐

### ROOF MEASUREMENTS

Length Height Pitch 

### SOLAR PANEL MEASUREMENTS

Length Depth Width 

### SOLAR PANEL TYPE & FINISH

Color 

matte

Finish (matte or glossy) 

## STRUCTURE TWO

### STRUCTURE TYPE

Home ☐Garage ☐Barn ☐

### ELEVATION PLACEMENT

North ☐South ☐East ☐West ☐

### ROOF MEASUREMENTS

Length Height Pitch 

### SOLAR PANEL MEASUREMENTS

Length Depth Width 

### SOLAR PANEL TYPE & FINISH

Type

Roof Mounted ☐Ground Mounted ☐Canopy/Carport System ☐Color Finish (matte or glossy) 

Solar Company

Tesla Energy

781-635-1030

Phone

Solar representative

Nathan Tissot

Print Name

Nathan Tissot

Signature

Date

2/16/2022



## SIGN SUPPLEMENT

### PROJECT TYPE

New ☐

Minor Change to Existing Sign ☐

Replace Existing Color ☐

Replace Existing Sign with New ☐

### MOUNTING TYPE

Post Mount ☐

*Post Mount Installation Type*

Surface Installation ☐

Direct Burial Installation ☐

Wall/Surface Mount ☐

Mounting type

Elevation affixed to

### ASTHETICS

Size

Material

Lettering (style)

Color

Post/Mount Material

Color

Height to Crossbar

Single Faced ☐

Double Faced ☐

### LIGHTING

Will the sign be lit

Yes ☐

No ☐

Type of Lighting

Placement of Lighting

### ADDITIONAL INFORMATION



**Historic Districts (OKH or HMSWHD) Abutter Map for Subject Parcel 315030**

Direct abutters – all parcels that touch subject property including those across the street or way that would touch but for the road.

**Town of Barnstable  
GIS Unit**

gis@town.barnstable.ma.us

**Legend**

- Subject Parcel
- Abutters
- Parcels
- Town Boundary
- Railroad Tracks
- Buildings
  - Approx. Buildi
  - Buildings
- Parking Lots
- Paved
- Unpaved
- Roads
  - Paved Road
  - Unpaved Road
- Bridge
- Paved Median
- Water Bodies

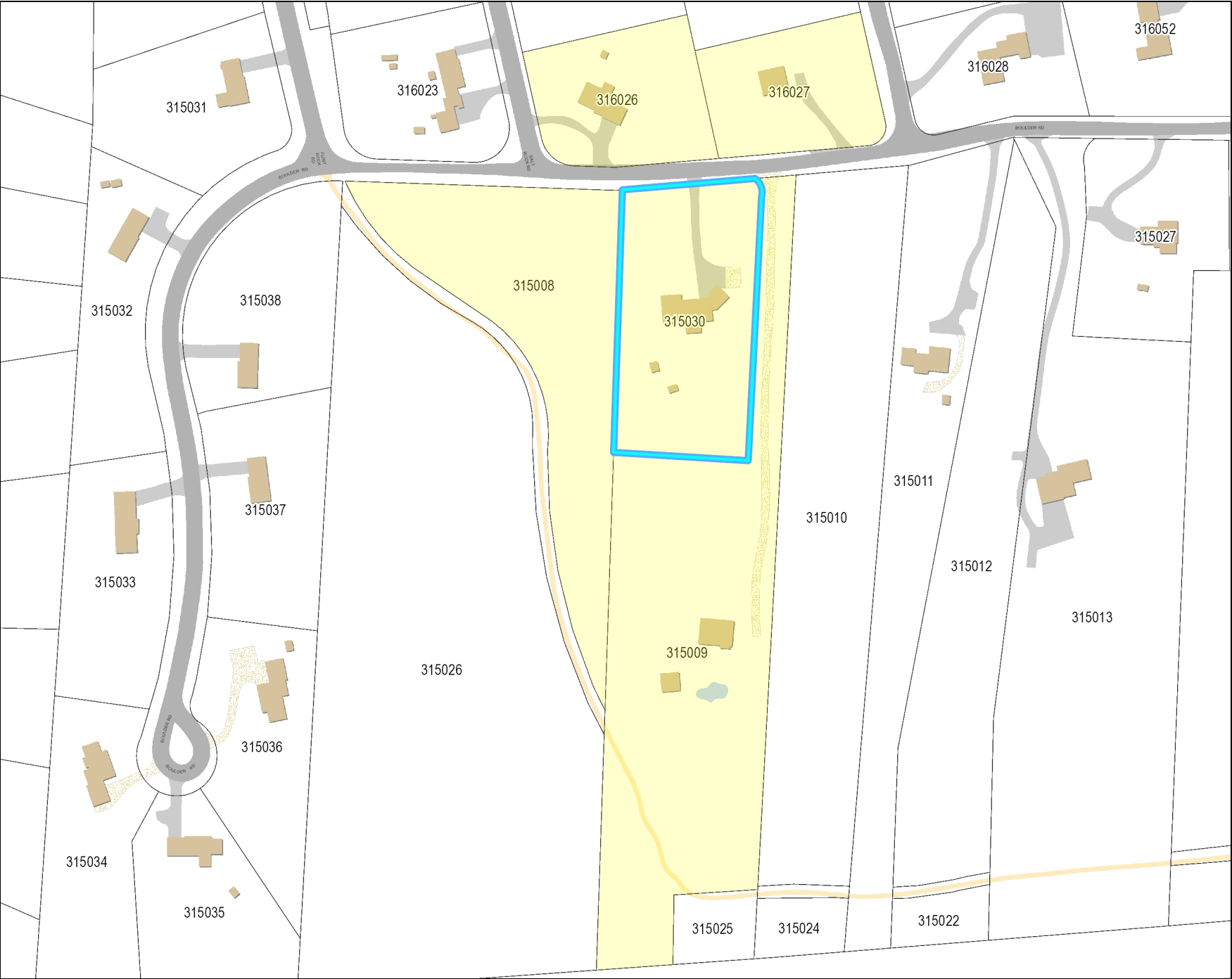
This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.

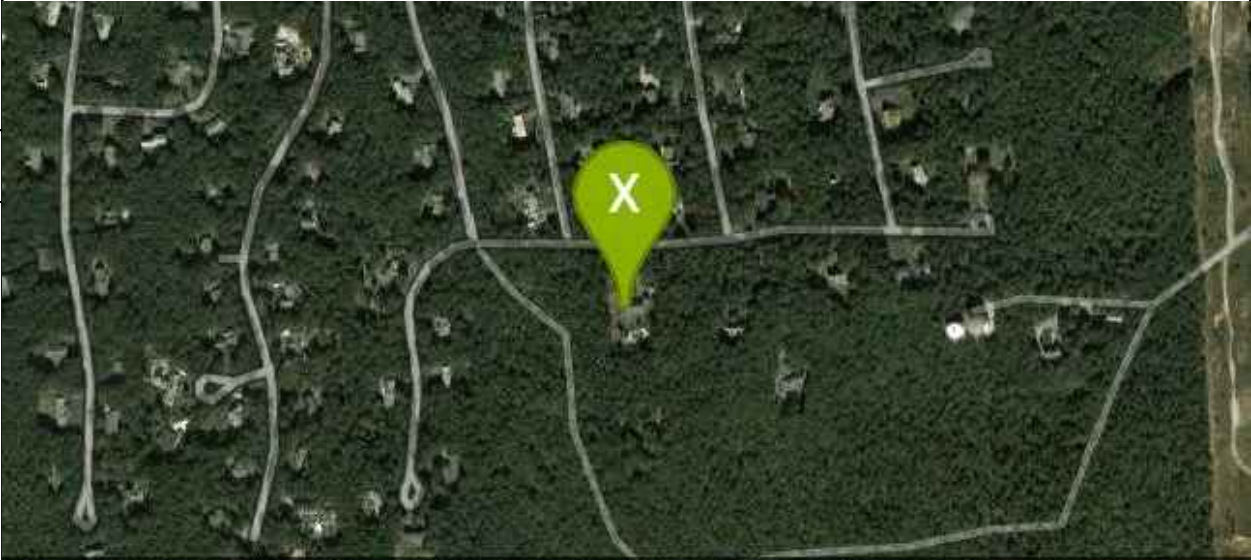


0 88 175 ft.  
1 inch = approx. 175 ft.

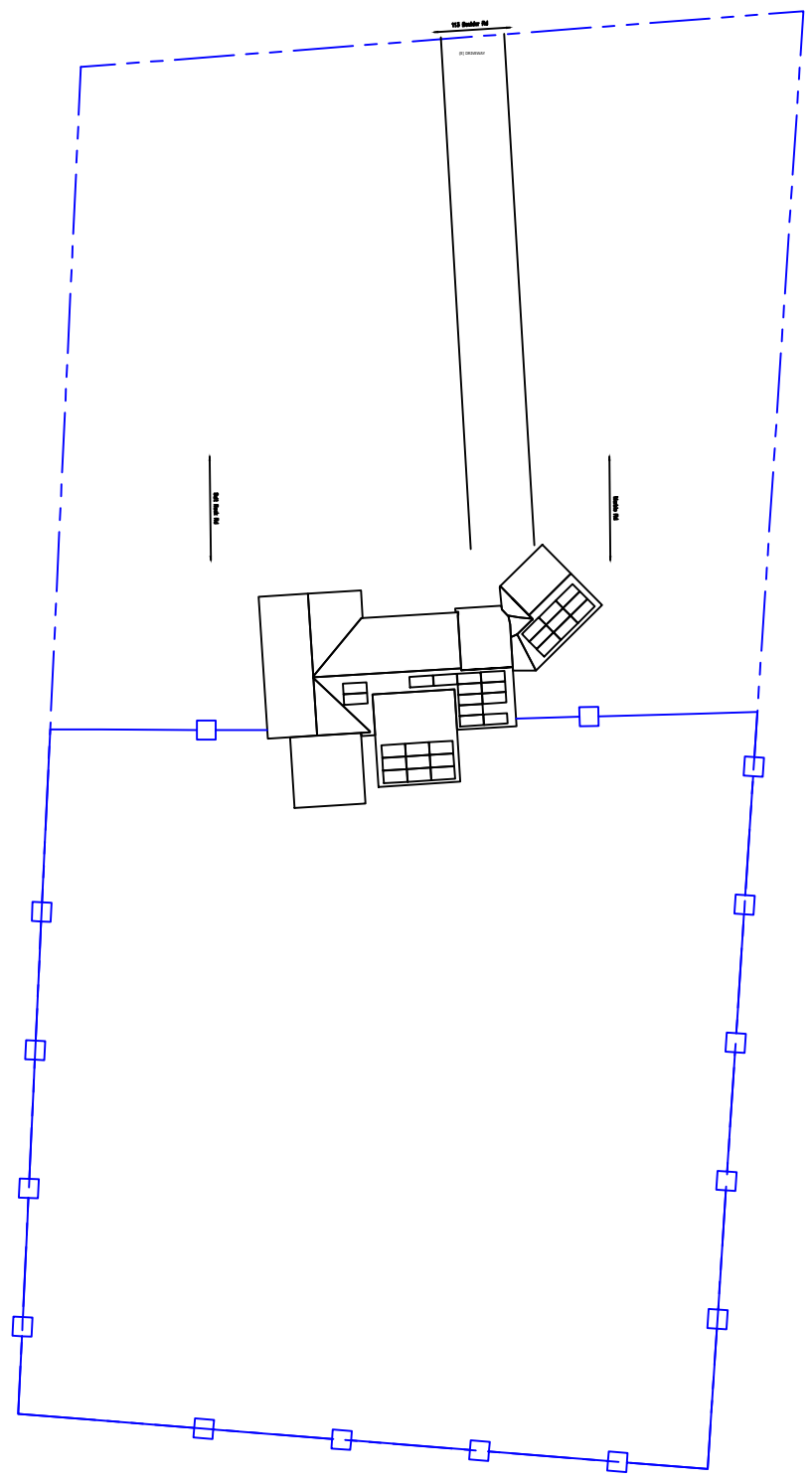
Printed on: 2/16/2022



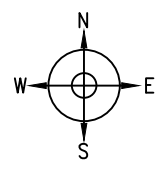
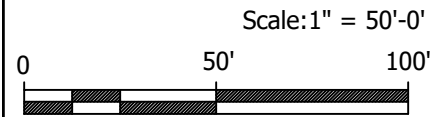


<div>ABBREVIATIONS</div> <div>A AMPERE AC ALTERNATING CURRENT BLDG BUILDING CONC CONCRETE DC DIRECT CURRENT EGC EQUIPMENT GROUNDING CONDUCTOR (E) EXISTING EMT ELECTRICAL METALLIC TUBING FSB FIRE SET-BACK GALV GALVANIZED GEC GROUNDING ELECTRODE CONDUCTOR GND GROUND HDG HOT DIPPED GALVANIZED I CURRENT Imp CURRENT AT MAX POWER Isc SHORT CIRCUIT CURRENT kVA KILOVOLT AMPERE kW KILOWATT LBW LOAD BEARING WALL MIN MINIMUM (N) NEW NEUT NEUTRAL NTS NOT TO SCALE OC ON CENTER PL PROPERTY LINE POI POINT OF INTERCONNECTION PV PHOTOVOLTAIC SCH SCHEDULE S STAINLESS STEEL STC STANDARD TESTING CONDITIONS TYP TYPICAL UPS UNINTERRUPTIBLE POWER SUPPLY V VOLT Vmp VOLTAGE AT MAX POWER Voc VOLTAGE AT OPEN CIRCUIT W WATT 3R NEMA 3R, RAINLIGHT</div>		<div>ELECTRICAL NOTES</div> <div>1. THIS SYSTEM IS GRID-INTERTIED VIA A UL-LISTED POWER-CONDITIONING INVERTER. 2. THIS SYSTEM HAS NO BATTERIES, NO UPS. 3. A NATIONALLY-RECOGNIZED TESTING LABORATORY SHALL LIST ALL EQUIPMENT IN COMPLIANCE WITH ART. 110.3. 4. WHERE ALL TERMINALS OF THE DISCONNECTING MEANS MAY BE ENERGIZED IN THE OPEN POSITION, A SIGN WILL BE PROVIDED WARNING OF THE HAZARDS PER ART. 690.17. 5. EACH UNGROUNDED CONDUCTOR OF THE MULTIWIRE BRANCH CIRCUIT WILL BE IDENTIFIED BY PHASE AND SYSTEM PER ART. 210.5. 6. CIRCUITS OVER 250V TO GROUND SHALL COMPLY WITH ART. 250.97, 250.92(B). 7. DC CONDUCTORS EITHER DO NOT ENTER BUILDING OR ARE RUN IN METALLIC RACEWAYS OR ENCLOSURES TO THE FIRST ACCESSIBLE DC DISCONNECTING MEANS PER ART. 690.31(E). 8. ALL WIRES SHALL BE PROVIDED WITH STRAIN RELIEF AT ALL ENTRY INTO BOXES AS REQUIRED BY UL LISTING. 9. MODULE FRAMES SHALL BE GROUNDED AT THE UL-LISTED LOCATION PROVIDED BY THE MANUFACTURER USING UL LISTED GROUNDING HARDWARE. 10. MODULE FRAMES, RAIL, AND POSTS SHALL BE BONDED WITH EQUIPMENT GROUND CONDUCTORS.</div>		<div>JURISDICTION NOTES</div>																													
<div>LICENSE</div> <div>HIC #168572 ELEC 22812A</div> <div>MODULE GROUNDING METHOD: ZEP SOLAR</div> <div>AHJ: Barnstable Town/City</div> <div>UTILITY: Eversource Energy – South Shore (NSTAR-Commonwealth Electric)</div>		<div>GENERAL NOTES</div> <div>1. ALL WORK TO BE DONE TO THE 9TH EDITION OF THE MA STATE BUILDING CODE. 2. ALL ELECTRICAL WORK SHALL COMPLY WITH THE 2020 NATIONAL ELECTRIC CODE INCLUDING MASSACHUSETTS AMENDMENTS.</div>		<div>VICINITY MAP</div> <div><p>Massachusetts EOE, Maxar Technologies, USDA Farm Service Agency</p></div>			<div>INDEX</div> <div>Sheet 1 COVER SHEET Sheet 2 PROPERTY PLAN Sheet 3 SITE PLAN Sheet 4 STRUCTURAL VIEWS Sheet 5 UPLIFT CALCULATIONS Sheet 6 THREE LINE DIAGRAM Sheet 7 RENDERINGS Cutsheets Attached</div> <table><thead><tr><th>REV</th><th>BY</th><th>DATE</th><th>COMMENTS</th></tr></thead><tbody><tr><td>REV A</td><td>DWW</td><td>1/13/2021</td><td>Decreased system size.</td></tr><tr><td>REV B</td><td>AM</td><td>2/4/22</td><td>Layout updated</td></tr><tr><td>*</td><td>*</td><td>*</td><td>*</td></tr><tr><td>*</td><td>*</td><td>*</td><td>*</td></tr><tr><td>*</td><td>*</td><td>*</td><td>*</td></tr></tbody></table>			REV	BY	DATE	COMMENTS	REV A	DWW	1/13/2021	Decreased system size.	REV B	AM	2/4/22	Layout updated	*	*	*	*	*	*	*	*	*	*	*	*
REV	BY	DATE	COMMENTS																														
REV A	DWW	1/13/2021	Decreased system size.																														
REV B	AM	2/4/22	Layout updated																														
*	*	*	*																														
*	*	*	*																														
*	*	*	*																														
<div>CONFIDENTIAL – THE INFORMATION HEREIN CONTAINED SHALL NOT BE USED FOR THE BENEFIT OF ANYONE EXCEPT TESLA INC., NOR SHALL IT BE DISCLOSED IN WHOLE OR IN PART TO OTHERS OUTSIDE THE RECIPIENT'S ORGANIZATION, EXCEPT IN CONNECTION WITH THE SALE AND USE OF THE RESPECTIVE TESLA EQUIPMENT, WITHOUT THE WRITTEN PERMISSION OF TESLA INC.</div>		<div>JOB NUMBER: JB-0264416 00</div> <div>MOUNTING SYSTEM: ZS Comp V4 w Flashing-Insert</div> <div>MODULES: (31) Tesla # T400H</div> <div>INVERTER: 7.6 kW Tesla Inc 1538000-00-F (240V)</div>		<div>CUSTOMER: Erik Dasque 113 Boulder Rd Barnstable, MA 02630</div> <div>6179539104</div>		<div>DESCRIPTION: 12.4 KW PV ARRAY</div> <div>PAGE NAME: COVER SHEET</div>		<div>DESIGN: Akash Mallick</div> <div>SHEET: 1 REV: b DATE: 2/4/2022</div>		<div>TESLA</div>																							





PROPERTY PLAN



CONFIDENTIAL – THE INFORMATION HEREIN CONTAINED SHALL NOT BE USED FOR THE BENEFIT OF ANYONE EXCEPT TESLA INC., NOR SHALL IT BE DISCLOSED IN WHOLE OR IN PART TO OTHERS OUTSIDE THE RECIPIENT'S ORGANIZATION, EXCEPT IN CONNECTION WITH THE SALE AND USE OF THE RESPECTIVE TESLA EQUIPMENT, WITHOUT THE WRITTEN PERMISSION OF TESLA INC.

JOB NUMBER:	JB-0264416 00
MOUNTING SYSTEM:	ZS Comp V4 w Flashing-Insert
MODULES:	(31) Tesla # T400H
INVERTER:	7.6 kW Tesla Inc 1538000-00-F (240V)

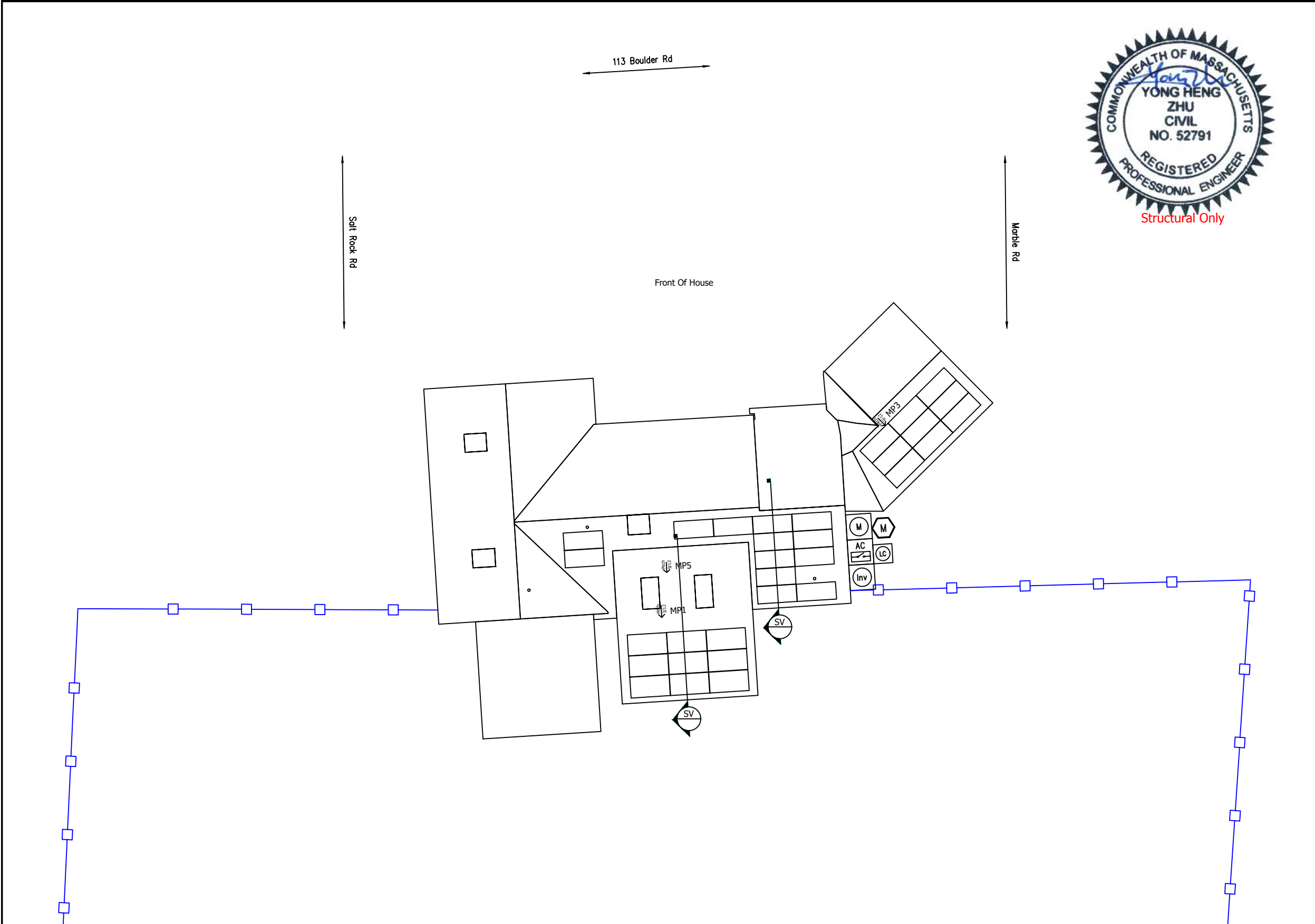
CUSTOMER:  
Erik Dasque  
113 Boulder Rd  
Barnstable, MA 02630  
  
6179539104

DESCRIPTION:  
12.4 KW PV ARRAY  
  
PAGE NAME:  
PROPERTY PLAN

DESIGN:  
Akash Mallick  
  
SHEET: 2 REV: b DATE: 2/4/2022







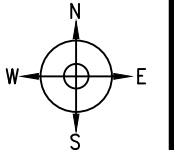
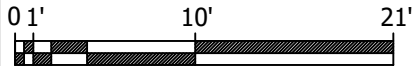
MP1	PITCH: 16° (3:12) ARRAY PITCH: 16° (3:12) AZIMUTH: 176 ARRAY AZIMUTH: 176 MATERIAL: Comp Shingle STORY: 2 Stories
MP2	PITCH: 41° (10:12) ARRAY PITCH: 41° (10:12) AZIMUTH: 266 ARRAY AZIMUTH: 266 MATERIAL: Comp Shingle STORY: 2 Stories
MP3	PITCH: 37° (9:12) ARRAY PITCH: 37° (9:12) AZIMUTH: 135 ARRAY AZIMUTH: 135 MATERIAL: Comp Shingle STORY: 2 Stories
MP4	PITCH: 39° (10:12) ARRAY PITCH: 39° (10:12) AZIMUTH: 86 ARRAY AZIMUTH: 86 MATERIAL: Comp Shingle STORY: 2 Stories
MP5	PITCH: 37° (9:12) ARRAY PITCH: 37° (9:12) AZIMUTH: 176 ARRAY AZIMUTH: 176 MATERIAL: Comp Shingle STORY: 2 Stories

LEGEND

- (E) UTILITY METER & WARNING LABEL
- INVERTER W/ INTEGRATED DC DISCO & WARNING LABELS
- DC DISCONNECT & WARNING LABELS
- AC DISCONNECT & WARNING LABELS
- DC JUNCTION/COMBINER BOX & LABELS
- DISTRIBUTION PANEL & LABELS
- LOAD CENTER & WARNING LABELS
- DEDICATED PV SYSTEM METER
- RAPID SHUTDOWN
- STANDOFF LOCATIONS
- CONDUIT RUN ON EXTERIOR
- CONDUIT RUN ON INTERIOR
- GATE/FENCE
- HEAT PRODUCING VENTS ARE RED
- INTERIOR EQUIPMENT IS DASHED

SITE PLAN

Scale: 3/32" = 1'



CONFIDENTIAL – THE INFORMATION HEREIN CONTAINED SHALL NOT BE USED FOR THE BENEFIT OF ANYONE EXCEPT TESLA INC., NOR SHALL IT BE DISCLOSED IN WHOLE OR IN PART TO OTHERS OUTSIDE THE RECIPIENT'S ORGANIZATION, EXCEPT IN CONNECTION WITH THE SALE AND USE OF THE RESPECTIVE TESLA EQUIPMENT, WITHOUT THE WRITTEN PERMISSION OF TESLA INC.

JOB NUMBER:	JB-0264416 00
MOUNTING SYSTEM:	ZS Comp V4 w Flashing-Insert
MODULES:	(31) Tesla # T400H
INVERTER:	7.6 kW Tesla Inc 1538000-00-F (240V)

CUSTOMER:	Erik Dasque 113 Boulder Rd Barnstable, MA 02630
	6179539104

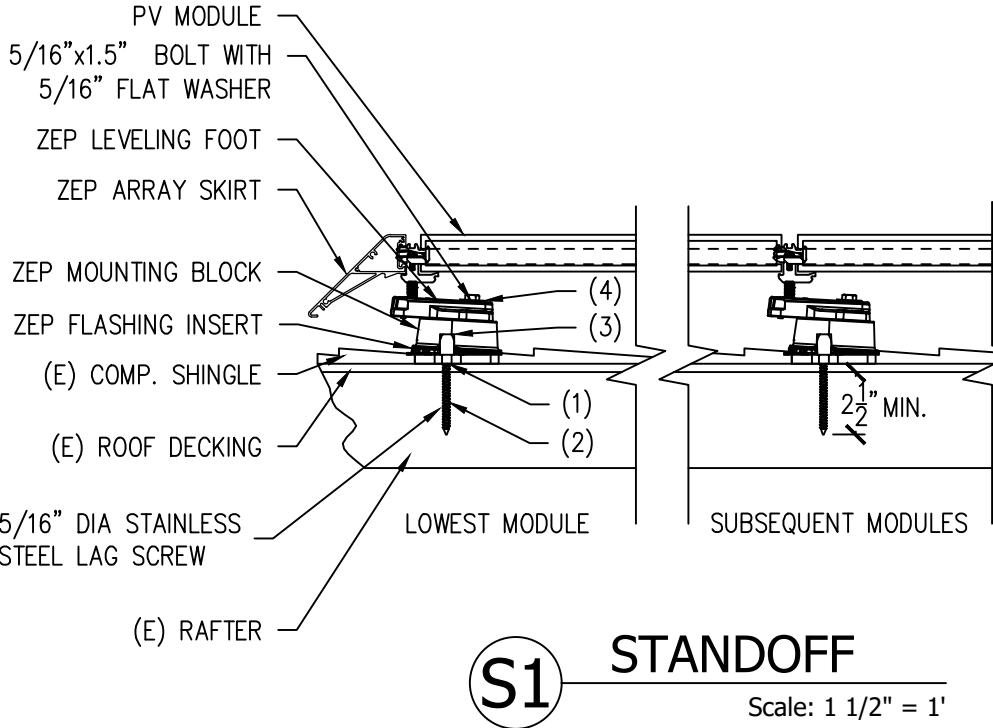
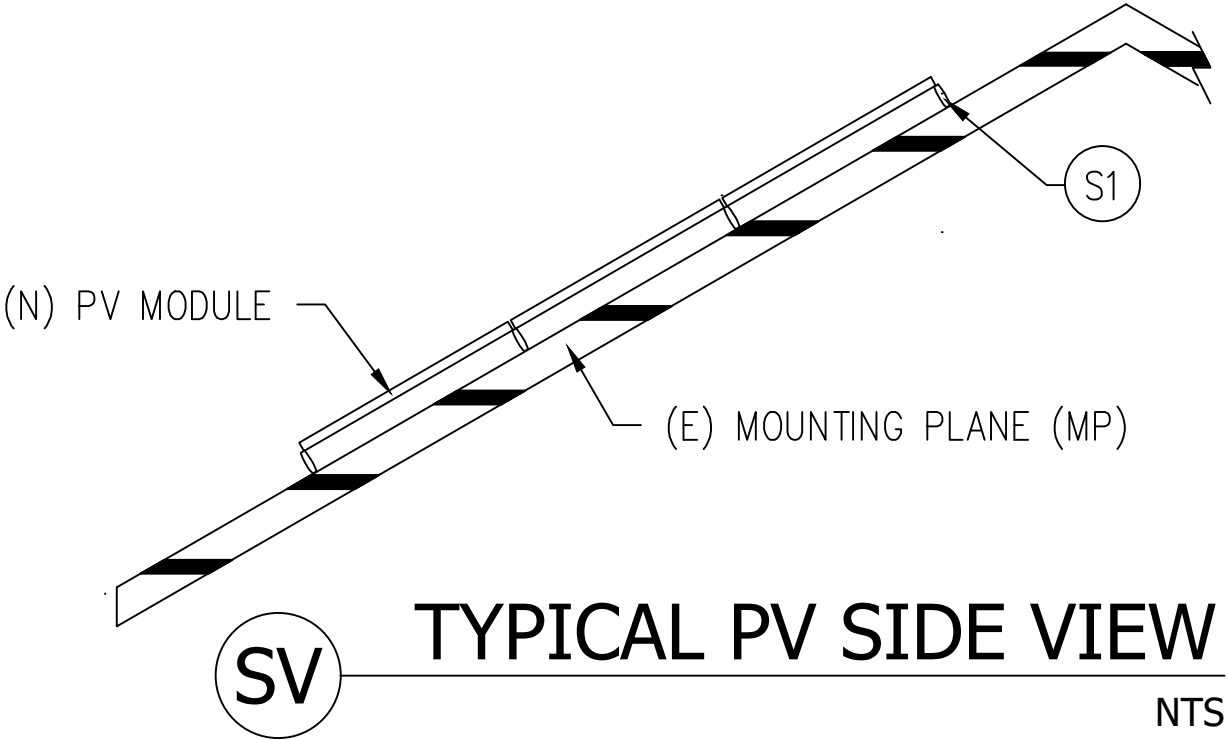
DESCRIPTION:	12.4 KW PV ARRAY
PAGE NAME:	SITE PLAN

DESIGN:	Akash Mallick
---------	---------------

SHEET:	3	REV:	b	DATE:	2/4/2022
--------	---	------	---	-------	----------







- INSTALLATION ORDER
- (1) LOCATE RAFTER, MARK HOLE LOCATION, AND DRILL PILOT HOLE.
  - (2) ATTACH FLASHING INSERT TO MOUNTING BLOCK AND ATTACH TO RAFTER USING LAG SCREW.
  - (3) INJECT SEALANT INTO FLASHING INSERT PORT, WHICH SPREADS SEALANT EVENLY OVER THE ROOF PENETRATION.
  - (4) INSTALL LEVELING FOOT ON TOP OF MOUNTING BLOCK & SECURELY FASTEN WITH BOLT.

CONFIDENTIAL – THE INFORMATION HEREIN CONTAINED SHALL NOT BE USED FOR THE BENEFIT OF ANYONE EXCEPT TESLA INC., NOR SHALL IT BE DISCLOSED IN WHOLE OR IN PART TO OTHERS OUTSIDE THE RECIPIENT'S ORGANIZATION, EXCEPT IN CONNECTION WITH THE SALE AND USE OF THE RESPECTIVE TESLA EQUIPMENT, WITHOUT THE WRITTEN PERMISSION OF TESLA INC.

JOB NUMBER: JB-0264416 00

MOUNTING SYSTEM: ZS Comp V4 w Flashing-Insert

MODULES: (31) Tesla # T400H

INVERTER: 7.6 kW Tesla Inc 1538000-00-F (240V)

CUSTOMER: Erik Dasque  
113 Boulder Rd  
Barnstable, MA 02630

6179539104

DESCRIPTION: 12.4 KW PV ARRAY

PAGE NAME: STRUCTURAL VIEWS

DESIGN: Akash Mallick

SHEET: 4 REV: b DATE: 2/4/2022







Structural Only

Jobsite Specific Design Criteria			
Design Code		ASCE 7-10	
Risk Category		II	Table 1.5-1
Ultimate Wind Speed	V-Ult	140	Fig. 1609A
Exposure Category		C	Section 26.7
Ground Snow Load	pg	30	Table 7-1
Edge Zone Width	a	10.4 ft	Fig. 30.4-2A to 30.4-2C

MP Specific Design Information			
MP Name	MP1	MP3	MP5
Roofing	Comp Shingle	Comp Shingle	Comp Shingle
Standoff	ZS Comp V4 w Flashing-Insert	ZS Comp V4 w Flashing-Insert	ZS Comp V4 w Flashing-Insert
Pitch	16	37	37
SL/RLL: PV	22.5	13.8	13.8
SL/RLL: Non-PV	25.0	25.0	25.0

Standoff Spacing and Layout			
MP Name	MP1	MP3	MP5
Landscape X-Spacing	72	72	72
Landscape X-Cantilever	24	24	24
Landscape Y-Spacing	41	41	41
Landscape Y-Cantilever	-	-	-
Portrait X-Spacing	32	32	32
Portrait X-Cantilever	14	14	14
Portrait Y-Spacing	74	74	74
Portrait Y-Cantilever	-	-	-
Layout	Staggered	Staggered	Staggered
X and Y are maximums that are always relative to the structure framing that supports the PV. X is across rafters and Y is along rafters.			

CONFIDENTIAL - THE INFORMATION HEREIN CONTAINED SHALL NOT BE USED FOR THE BENEFIT OF ANYONE EXCEPT TESLA INC., NOR SHALL IT BE DISCLOSED IN WHOLE OR IN PART TO OTHERS OUTSIDE THE RECIPIENT'S ORGANIZATION, EXCEPT IN CONNECTION WITH THE SALE AND USE OF THE RESPECTIVE TESLA EQUIPMENT, WITHOUT THE WRITTEN PERMISSION OF TESLA INC.

JOB NUMBER: JB-0264416 00

MOUNTING SYSTEM:  
ZS Comp V4 w Flashing-Insert

MODULES:  
(31) Tesla # T400H

INVERTER:  
7.6 kW Tesla Inc 1538000-00-F (240V)

CUSTOMER:  
Erik Dasque  
113 Boulder Rd  
Barnstable, MA 02630

6179539104

DESCRIPTION:  
12.4 KW PV ARRAY

PAGE NAME:  
UPLIFT CALCULATIONS

DESIGN:  
Akash Mallick

SHEET: 5      REV: b      DATE: 2/4/2022





	MAIN PANEL SPECS	GENERAL NOTES	INVERTER SPECS		MODULE SPECS	LICENSE
	Panel Number: NoLabel Meter Number: 43 995 180 Underground Service Entrance	Inv 1: DC Ungrounded Tie-In: Supply Side Connection	INV 1	- (1) 7.6 kW Tesla Inc 1538000-00-F (240V)	- (31) Tesla # T400H PV Module, 400W, 371.5 PTC, 40MM, Black Frame, MC4/MC4-EV02, ZEP, 1000V  Voc: 45.3      Vpmax:      37.13 Isc AND Imp ARE SHOWN IN THE DC STRINGS IDENTIFIER	HIC #168572 ELEC 22812A
			INV 2			
			INV 3			

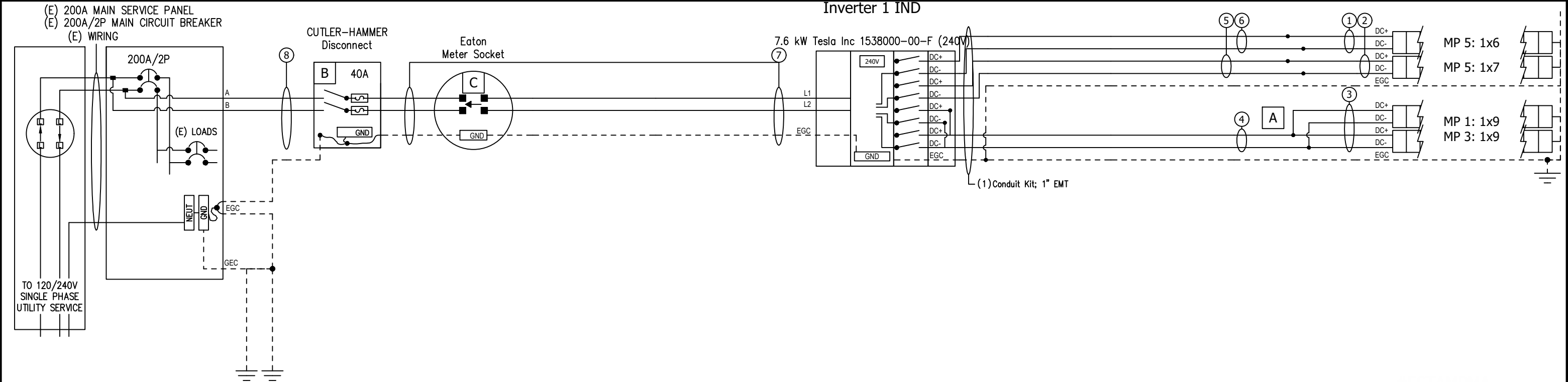


PHOTO VOLTAIC SYSTEM EQUIPPED WITH RAPID SHUTDOWN

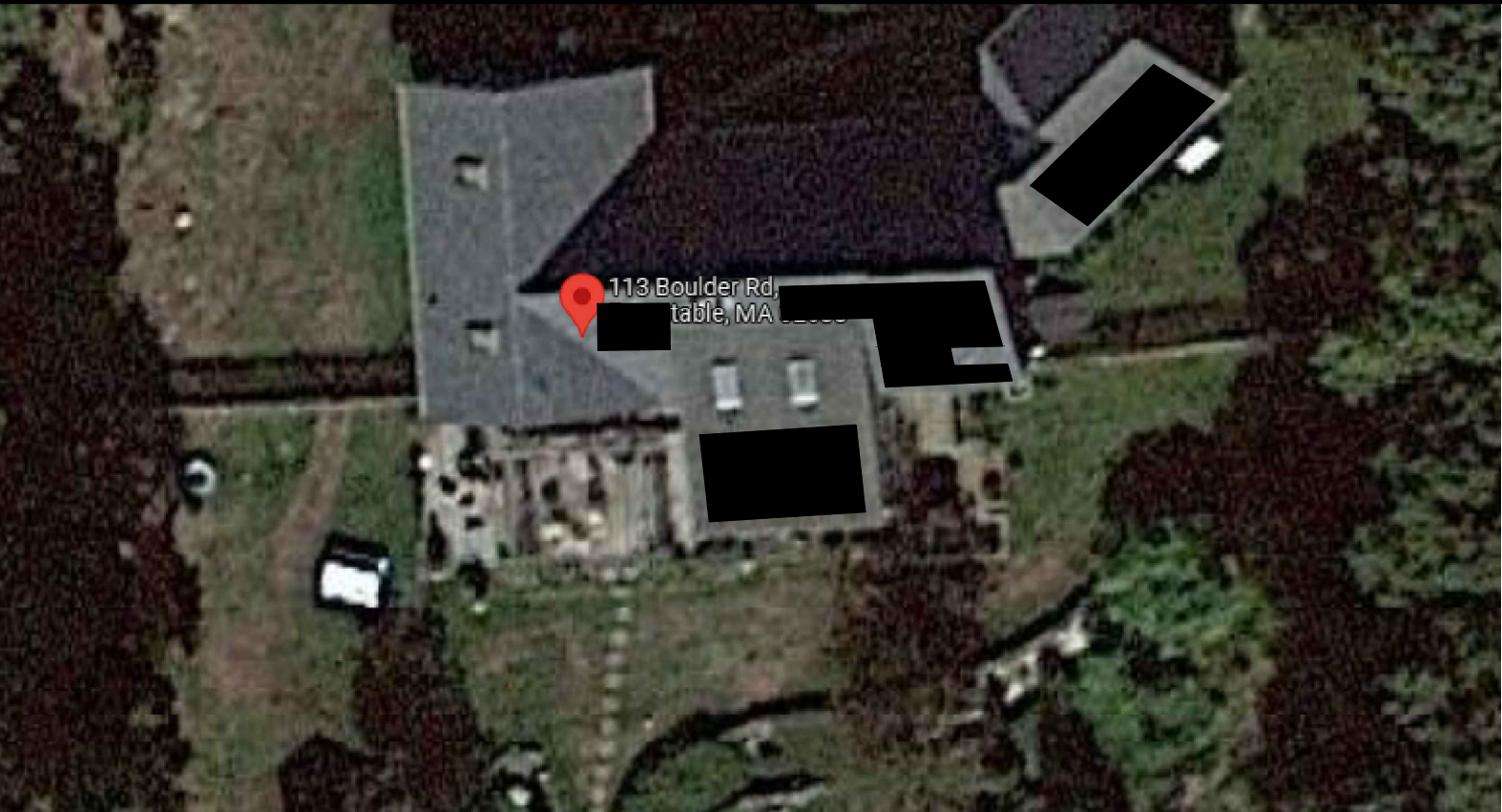
PV METER IS FOR PARTICIPATION IN THE MA SMART SOLAR REBATE PROGRAM. BOTH METERS WILL BE IN CLOSE PROXIMITY OF EACH OTHER.

Voc\* = MAX VOC AT MIN TEMP

<b>POI</b> (2) Ground Rod 5/8" x 8", Copper (2) ILSCO # IPC 4/0-#6 Insulation Piercing Connector; Main 4/0-4, Tap 6-14		<b>B</b> (1) CUTLER-HAMMER # DG222NRB Disconnect; 60A, 240Vac, Fusible, NEMA 3R (1) CUTLER-HAMMER # DG100NB Ground/Neutral Kit; 60-100A, General Duty (DG) (1) CUTLER-HAMMER #DS16FK Class R Fuse Kit (2) FERRAZ SHAWMUT # TR40R Fuse; 40A, 250V, Class RK5 PV BACKFEED OCP		<b>AC</b>		<b>GD</b> Please see MCI wiring detail page for more information
<b>SSC</b> SUPPLY SIDE CONNECTION. DISCONNECTING MEANS SHALL BE SUITABLE AS SERVICE EQUIPMENT AND SHALL BE RATED PER NEC.		<b>C</b> (1) Eaton # B-Line Meter Socket 011 Meter Socket; 125A, 4-14AWG, Ring Type (1) AW CAP; B-Line Meter Socket Accessory				<b>A</b> (2) EE-000550-001 MC4 Y-Connector, Receptacle (2) EE-000550-000 MC4 Y-Connector, Plug <b>PV</b> (11) Tesla MCI, 650V, 12A <b>Gnd</b> (1) AWG #6, Solid Bare Copper (1) Ground Rod; 5/8" x 8", Copper (N) ARRAY GROUND PER 690.47(D). NOTE: PER EXCEPTION NO. 2, ADDITIONAL ELECTRODE MAY NOT BE REQUIRED DEPENDING ON LOCATION OF (E) ELECTRODE.
<b>8</b> (1) AWG #6, THWN-2, Black (1) AWG #6, THWN-2, Red (1) AWG #6, Solid Bare Copper GEC Vmp = 240 VAC Imp=32 AAC (1) Conduit Kit; 3/4" EMT		<b>7</b> (1) AWG #8, THWN-2, Black (1) AWG #8, THWN-2, Red (1) AWG #10, THWN-2, Green EGC Vmp = 240 VAC Imp=32 AAC (1) Conduit Kit; 3/4" EMT		<b>4</b> (2) PV Wire, AWG 10, Black Voc* = 459.44VDC Isc = 22.28 ADC (1) AWG #6, Solid Bare Copper EGC Vmp = 334.17 VDC Imp= 21.54 ADC (1) Conduit Kit; 3/4" EMT <b>5</b> (2) PV Wire, AWG 10, Black Voc* = 357.34VDC Isc = 11.14 ADC (1) AWG #6, Solid Bare Copper EGC Vmp = 259.91 VDC Imp= 10.77 ADC (1) Conduit Kit; 3/4" EMT <b>6</b> (2) PV Wire, AWG 10, Black Voc* = 306.29VDC Isc = 11.14 ADC (1) AWG #6, Solid Bare Copper EGC Vmp = 222.78VDC Imp= 10.77 ADC (1) Conduit Kit; 3/4" EMT		<b>1</b> (2) PV Wire, AWG 10, Black Voc* = 306.29VDC Isc = 11.14 ADC (1) AWG #6, Solid Bare Copper EGC Vmp = 222.78VDC Imp= 10.77 ADC (1) Conduit Kit; 3/4" EMT <b>2</b> (2) PV Wire, AWG 10, Black Voc* = 357.34VDC Isc = 11.14 ADC (1) AWG #6, Solid Bare Copper EGC Vmp = 259.91 VDC Imp= 10.77 ADC (1) Conduit Kit; 3/4" EMT <b>3</b> (4) PV Wire, AWG 10, Black Voc* = 459.44VDC Isc = 11.14 ADC (1) AWG #6, Solid Bare Copper EGC Vmp = 334.17 VDC Imp= 10.77 ADC (1) Conduit Kit; 3/4" EMT

CONFIDENTIAL - THE INFORMATION HEREIN CONTAINED SHALL NOT BE USED FOR THE BENEFIT OF ANYONE EXCEPT TESLA INC., NOR SHALL IT BE DISCLOSED IN WHOLE OR IN PART TO OTHERS OUTSIDE THE RECIPIENT'S ORGANIZATION, EXCEPT IN CONNECTION WITH THE SALE AND USE OF THE RESPECTIVE TESLA EQUIPMENT, WITHOUT THE WRITTEN PERMISSION OF TESLA INC.	JOB NUMBER: JB-0264416 00	CUSTOMER: Erik Dasque 113 Boulder Rd Barnstable, MA 02630  6179539104	DESCRIPTION: 12.4 KW PV ARRAY  PAGE NAME: THREE LINE DIAGRAM	DESIGN: Akash Mallick  SHEET: 6 REV: b DATE: 2/4/2022	TESLA
	MOUNTING SYSTEM: ZS Comp V4 w Flashing-Insert				
	MODULES: (31) Tesla # T400H INVERTER: 7.6 kW Tesla Inc 1538000-00-F (240V)				





CONFIDENTIAL – THE INFORMATION HEREIN CONTAINED SHALL NOT BE USED FOR THE BENEFIT OF ANYONE EXCEPT TESLA INC., NOR SHALL IT BE DISCLOSED IN WHOLE OR IN PART TO OTHERS OUTSIDE THE RECIPIENT'S ORGANIZATION, EXCEPT IN CONNECTION WITH THE SALE AND USE OF THE RESPECTIVE TESLA EQUIPMENT, WITHOUT THE WRITTEN PERMISSION OF TESLA INC.

JOB NUMBER: JB-0264416 00  
MOUNTING SYSTEM:  
ZS Comp V4 w Flashing-Insert  
MODULES:  
(31) Tesla # T400H  
INVERTER:  
7.6 kW Tesla Inc 1538000-00-F (240V)

CUSTOMER:  
Erik Dasque  
113 Boulder Rd  
Barnstable, MA 02630  
6179539104

DESCRIPTION:  
12.4 KW PV ARRAY  
  
PAGE NAME:  
RENDERINGS

DESIGN:  
Akash Mallick  
  
SHEET: 7 REV: b DATE: 2/4/2022





WARNING: PHOTOVOLTAIC POWER SOURCE

Label Location:  
(C)(CB)(JB)  
Per Code:  
NEC 690.31.G.3  
  
Label Location:  
(DC) (INV)  
Per Code:  
NEC 690.13.B

PHOTOVOLTAIC DC  
DISCONNECT

MAXIMUM VOLTAGE   
  
MAXIMUM CIRCUIT CURRENT   
  
MAX RATED OUTPUT CURRENT  
OF THE CHARGE CONTROLLER  
OR DC-TO-DC CONVERTER  
(IF INSTALLED)

Label Location:  
(DC) (INV)  
Per Code:  
NEC 690.53

WARNING

ELECTRIC SHOCK HAZARD  
IF A GROUND FAULT IS INDICATED  
NORMALLY GROUNDED  
CONDUCTORS MAY BE  
UNGROUNDDED AND ENERGIZED

Label Location:  
(DC) (INV)  
Per Code:  
690.41.B

WARNING

ELECTRICAL SHOCK HAZARD  
DO NOT TOUCH TERMINALS  
TERMINALS ON BOTH LINE AND  
LOAD SIDES MAY BE ENERGIZED  
IN THE OPEN POSITION  
  
DC VOLTAGE IS  
ALWAYS PRESENT WHEN  
SOLAR MODULES ARE  
EXPOSED TO SUNLIGHT

Label Location:  
(DC) (CB)  
Per Code:  
CEC 690.13.B

PHOTOVOLTAIC AC  
DISCONNECT

Label Location:  
(AC) (POI)  
Per Code:  
NEC 690.13.B

MAXIMUM AC  A  
OPERATING CURRENT  
  
MAXIMUM AC  V  
OPERATING VOLTAGE

Label Location:  
(AC) (POI)  
Per Code:  
NEC 690.54

WARNING

ELECTRIC SHOCK HAZARD  
DO NOT TOUCH TERMINALS  
TERMINALS ON BOTH LINE AND  
LOAD SIDES MAY BE ENERGIZED  
IN THE OPEN POSITION

Label Location:  
(AC)(POI)  
Per Code:  
NEC 690.13.B

WARNING

ELECTRIC SHOCK HAZARD  
THE DC CONDUCTORS OF THIS  
PHOTOVOLTAIC SYSTEM ARE  
UNGROUNDDED AND  
MAY BE ENERGIZED

Label Location:  
(DC) (INV)

PHOTOVOLTAIC SYSTEM  
EQUIPPED WITH RAPID  
SHUTDOWN

Label Location:  
(INV)  
Per Code:  
NEC 690.56.C.3

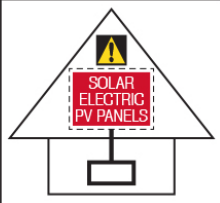
WARNING

INVERTER OUTPUT  
CONNECTION  
DO NOT RELOCATE  
THIS OVERCURRENT  
DEVICE

Label Location:  
(POI)  
Per Code:  
NEC 705.12.B.2.3.b

SOLAR PV SYSTEM  
EQUIPPED WITH RAPID  
SHUTDOWN

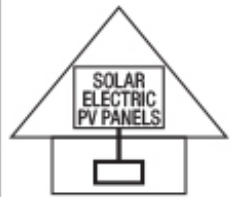
TURN RAPID  
SHUTDOWN SWITCH  
TO THE "OFF"  
POSITION TO SHUT  
DOWN CONDUCTORS  
OUTSIDE THE ARRAY.  
CONDUCTORS WITHIN  
THE ARRAY REMAIN  
ENERGIZED IN SUNLIGHT



Label Location:  
ABB/Delta Solivia Inverter  
Per Code:  
690.56(C)(1)(b)

SOLAR PV SYSTEM  
EQUIPPED WITH RAPID  
SHUTDOWN

TURN RAPID  
SHUTDOWN  
SWITCH TO THE  
"OFF" POSITION TO  
SHUT DOWN PV  
SYSTEM AND REDUCE  
SHOCK HAZARD  
IN THE ARRAY.



Label Location:  
SolarEdge and,Delta M-Series and,Telsa Inverter  
Per Code:  
690.56(C)(1)(a)

CAUTION

PHOTOVOLTAIC SYSTEM  
CIRCUIT IS BACKFED

Label Location:  
(D) (POI)  
Per Code:  
NEC 690.64.B.4

CAUTION

DUAL POWER SOURCE  
SECOND SOURCE IS  
PHOTOVOLTAIC SYSTEM

Label Location:  
(POI)  
Per Code:  
NEC 705.12.B.3

PHOTOVOLTAIC POINT OF  
INTERCONNECTION  
WARNING: ELECTRIC SHOCK  
HAZARD. DO NOT TOUCH  
TERMINALS. TERMINALS ON  
BOTH THE LINE AND LOAD SIDE  
MAY BE ENERGIZED IN THE OPEN  
POSITION. FOR SERVICE  
DE-ENERGIZE BOTH SOURCE  
AND MAIN BREAKER.  
PV POWER SOURCE

MAXIMUM AC  A  
OPERATING CURRENT  
  
MAXIMUM AC  V  
OPERATING VOLTAGE

Label Location:  
(POI)  
Per Code:  
CEC 690.13.B

(AC): AC Disconnect  
(C): Conduit  
(CB): Combiner Box  
(D): Distribution Panel  
(DC): DC Disconnect  
(IC): Interior Run Conduit  
(INV): Inverter With Integrated DC Disconnect  
(LC): Load Center  
(M): Utility Meter  
(POI): Point of Interconnection

Label Set



# MCI WIRING DETAIL



## GENERAL NOTES

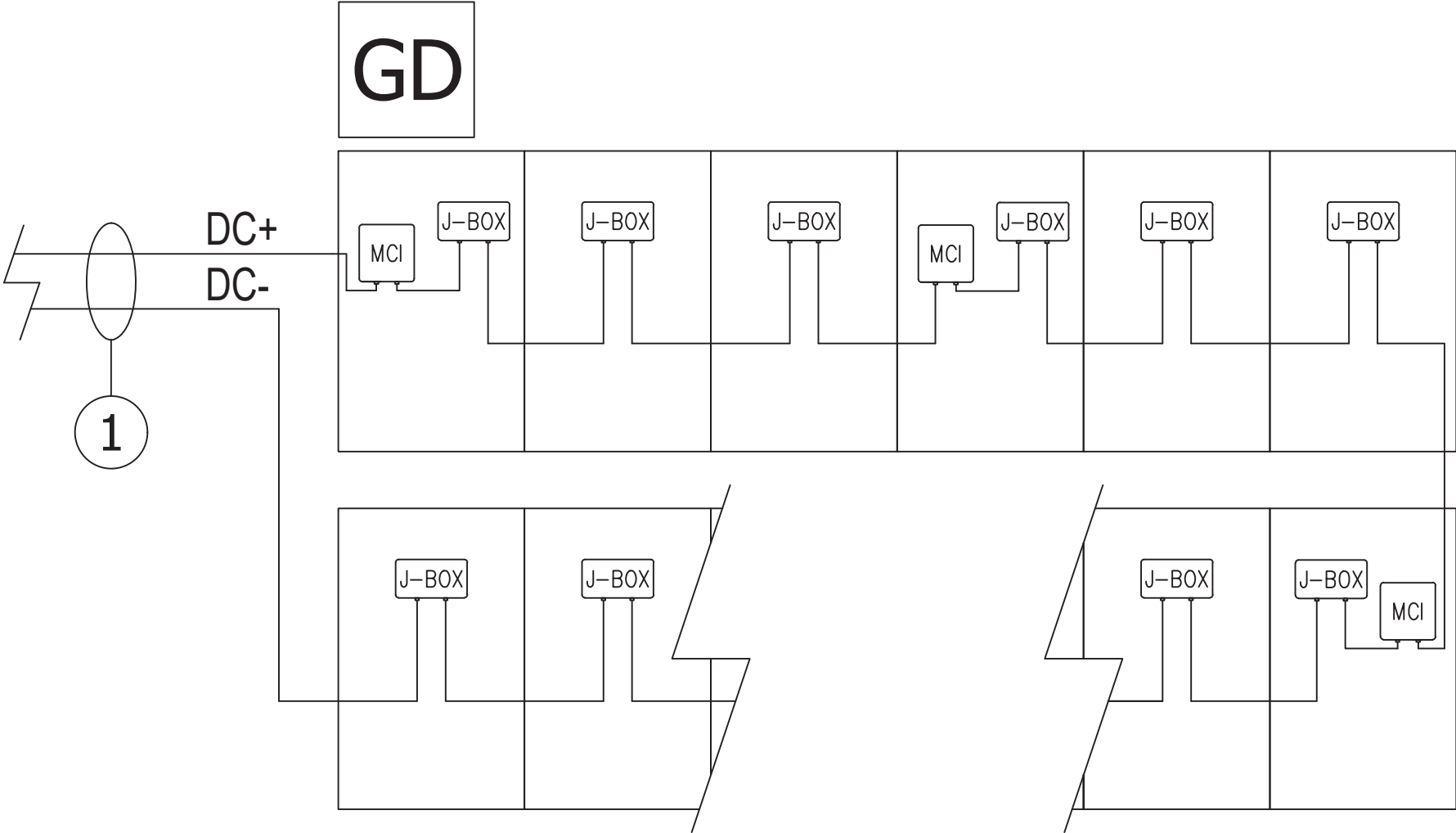
- DRAWING OF STANDARD MCI WIRING DETAIL FOR ANY GIVEN STRING LENGTH
- IF INITIATED, RAPID SHUTDOWN OCCURS WITHIN 30 SECONDS OF ACTIVATION AND LIMITS VOLTAGE ON THE ROOF TO NO GREATER THAN 165V (690.12.B.2.1)
- MID CIRCUIT INTERRUPTER (MCI) IS A UL 1741 PVRSE CERTIFIED RAPID SHUTDOWN DEVICE (RSD)

## RETROFIT PV MODULES

- MCIS ARE LOCATED AT ROOF LEVEL, JUST UNDER THE PV MODULES IN ACCORDANCE WITH 690.12 REQUIREMENTS
- THE QUANTITY OF MCIS PER STRING IS DETERMINED BY STRING LENGTH
  - NUMBER OF MODULES BETWEEN MCI UNITS = 0–3
  - MAXIMUM NUMBER OF MODULES PER MCI UNIT = 3
  - MINIMUM NUMBER MCI UNITS = MODULE COUNT/3

\*Exception: Tesla (Longi) modules installed in locations where the max Voc for 3 modules at low design temperature exceeds 165V shall be limited to 2 modules between MCIs.

PLEASE REFER TO MCI CUTSHEET AND PVRSA INSERT FOR MORE INFORMATION



① (2) AWG, PV Wire, 600V, Black

DC



# MCI WIRING DETAIL

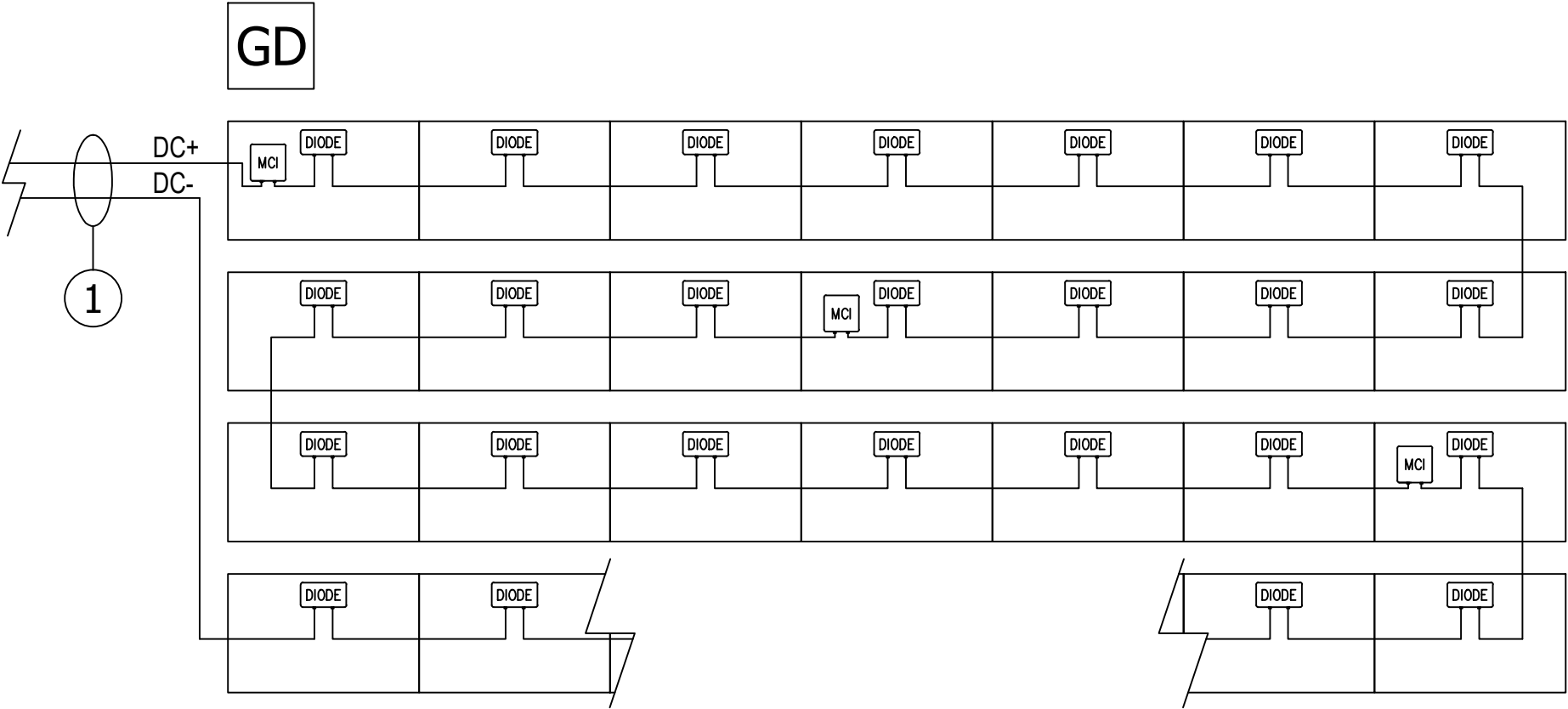
## GENERAL NOTES

- DRAWING OF STANDARD MCI WIRING DETAIL FOR ANY GIVEN STRING LENGTH
- IF INITIATED, RAPID SHUTDOWN OCCURS WITHIN 30 SECONDS OF ACTIVATION AND LIMITS VOLTAGE ON THE ROOF TO NO GREATER THAN 165V (690.12.B.2.1)
- MID CIRCUIT INTERRUPTER (MCI) IS A UL 1741 PVRSE CERTIFIED RAPID SHUTDOWN DEVICE (RSD)

## SOLAR ROOF TILES

- MCIS ARE LOCATED AT DECK LEVEL, JUST UNDER THE TILES IN ACCORDANCE WITH 690.12 REQUIREMENTS
- THE QUANTITY OF MCIS PER STRING IS DETERMINED BY STRING LENGTH
  - NUMBER OF TILES BETWEEN MCI UNITS = 0–10
  - MAXIMUM NUMBER OF TILES PER MCI UNIT = 10
  - MINIMUM NUMBER MCI UNITS = TILE COUNT/10

PLEASE REFER TO MCI CUTSHEET AND PVRSA INSERT FOR MORE INFORMATION



① (2) AWG, PV Wire, 600V, Black

DC





## SOLAR INVERTER

3.8 kW | 7.6 kW

Tesla Solar Inverter completes the Tesla home solar system, converting DC power from solar to AC power for home consumption. Tesla’s renowned expertise in power electronics has been combined with robust safety features and a simple installation process to produce an outstanding solar inverter that is compatible with both Solar Roof and traditional solar panels. Once installed, homeowners use the Tesla mobile app to manage their solar system and monitor energy consumption, resulting in a truly unique ecosystem experience.

### KEY FEATURES

- Built on Powerwall 2 technology for exceptional efficiency and reliability
- Designed to integrate with Tesla Powerwall and Tesla App
- 3.8 kW and 7.6 kW models available
- Wi-Fi, Ethernet, and cellular connectivity with easy over-the-air updates

## SOLAR INVERTER

Tesla Solar Inverter provides DC to AC conversion and integrates with the Tesla ecosystem, including Solar Panels, Solar Roof, Powerwall, and vehicle charging, to provide a seamless sustainable energy experience.

### KEY FEATURES

- Integrated rapid shutdown, arc fault, and ground fault protection
- 2x the standard number of MPPTs for high production on complex roofs
- No neutral wire simplifies installation



### ELECTRICAL SPECIFICATIONS

MODEL NUMBER	1534000-xx-y	1538000-xx-y
OUTPUT (AC)	3.8 kW	7.6 kW
Nominal Power	3,800 W	7,600 W
Maximum Apparent Power	3,328 VA at 208 V 3,840 VA at 240 V	6,656 VA at 208 V 7,680 VA at 240 V
Maximum Continuous Current	16 A	32 A
Breaker (Overcurrent Protection)	20 A	40 A
Nominal Power Factor	1 - 0.9 (leading / lagging)	
THD (at Nominal Power)	<5%	
INPUT (DC)		
MPPT	2	4
Input Connectors per MPPT	1-2	1-2-1-2
Maximum Input Voltage	600 VDC	
DC Input Voltage Range	60 - 550 VDC	
DC MPPT Voltage Range	60 - 480 VDC <sup>1</sup>	
Maximum Current per MPPT (I <sub>mp</sub> )	13 A	
Maximum Short Circuit Current per MPPT (I <sub>sc</sub> )	15 A	

### PERFORMANCE SPECIFICATIONS

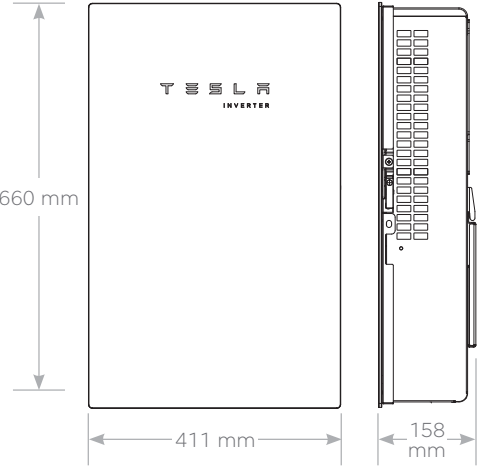
Peak Efficiency	98% at 208 V	98.4% at 208 V
	98.1% at 240 V	98.6% at 240 V
CEC Efficiency	97.5% at 208 V	97.5% at 208 V
	97.5% at 240 V	98.0% at 240 V
Allowable DC/AC Ratio	1.7	
Customer Interface	Tesla Mobile App	
Internet Connectivity	Wi-Fi (2.4 GHz, 802.11 b/g/n), Ethernet, Cellular (LTE/4G) <sup>2</sup>	
AC Remote Metering Support	Wi-Fi (2.4 GHz, 802.11 b/g/n), RS-485	
Protections	Integrated arc fault circuit interrupter (AFCI), Rapid Shutdown	
Supported Grid Types	60 Hz, 240 V Split Phase	
	60 Hz, 208 V Wye	

<sup>1</sup> Maximum current.  
<sup>2</sup> Cellular connectivity subject to network operator service coverage and signal strength.

### MECHANICAL SPECIFICATIONS

Dimensions	660 mm x 411 mm x 158 mm (26 in x 16 in x 6 in)
Weight	52 lb <sup>3</sup>
Mounting options	Wall mount (bracket)

<sup>3</sup> Door and bracket can be removed for a mounting weight of 37 lb.



### ENVIRONMENTAL SPECIFICATIONS

Operating Temperature	-30°C to 45°C (-22°F to 113°F) <sup>4</sup>
Operating Humidity (RH)	Up to 100%, condensing
Storage Temperature	-30°C to 70°C (-22°F to 158°F)
Maximum Elevation	3000 m (9843 ft)
Environment	Indoor and outdoor rated
Enclosure Rating	Type 3R
Ingress Rating	IP55 (Wiring compartment)
Pollution Rating	PD2 for power electronics and terminal wiring compartment, PD3 for all other components
Operating Noise @ 1 m	< 40 db(A) nominal, < 50 db(A) maximum

<sup>4</sup> For the 7.6 kW Solar Inverter, performance may be de-rated to 6.2 kW at 240 V or 5.37 kW at 208 V when operating at temperatures greater than 45°C.

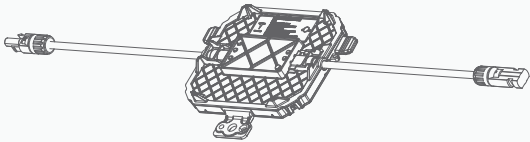
### COMPLIANCE INFORMATION

Grid Certifications	UL 1741, UL 1741 SA, IEEE 1547, IEEE 1547.1
Safety Certifications	UL 1741 PVRSS, UL 1699B, UL 1998 (US), UL 3741
Emissions	EN 61000-6-3 (Residential), FCC 47CFR15.109 (a)



SOLAR SHUTDOWN DEVICE

The Tesla Solar Shutdown Device is part of the PV system rapid shutdown (RSD) function in accordance with Article 690 of the applicable NEC. When paired with the Tesla Solar Inverter, solar array shutdown is initiated by any loss of AC power.



ELECTRICAL SPECIFICATIONS

Nominal Input DC Current Rating (I <sub>MP</sub> )	12 A
Maximum Input Short Circuit Current (I <sub>SC</sub> )	15 A
Maximum System Voltage	600 V DC

RSD MODULE PERFORMANCE

Maximum Number of Devices per String	5
Control	Power Line Excitation
Passive State	Normally open
Maximum Power Consumption	7 W
Warranty	25 years

COMPLIANCE INFORMATION

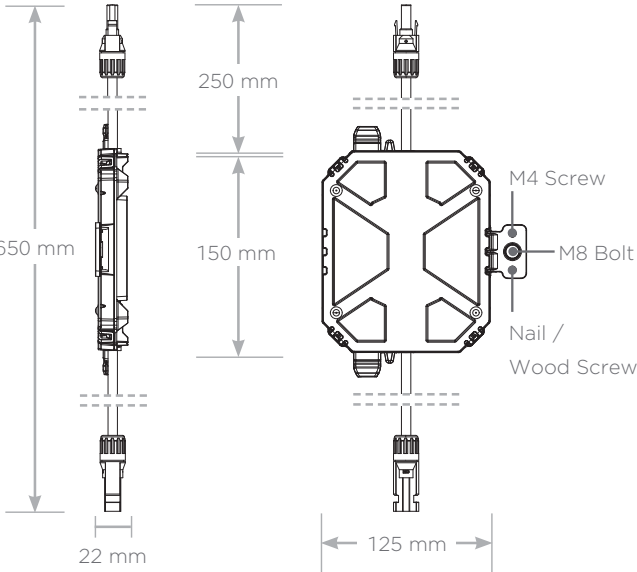
Certifications	UL 1741 PVRSE, UL 3741, PVRSA (Photovoltaic Rapid Shutdown Array)
RSD Initiation Method	PV System AC Breaker or Switch
Compatible Equipment	See Compatibility Table below

ENVIRONMENTAL SPECIFICATIONS

Ambient Temperature	-40°C to 50°C (-40°F to 122°F)
Storage Temperature	-30°C to 70°C (-22°F to 158°F)
Enclosure Rating	NEMA 4 / IP65

MECHANICAL SPECIFICATIONS

Electrical Connections	MC4 Connector
Housing	Plastic
Dimensions	125 mm x 150 mm x 22 mm (5 in x 6 in x 1 in)
Weight	350 g (0.77 lb)
Mounting Options	ZEP Home Run Clip M4 Screw (#10) M8 Bolt (5/16") Nail / Wood screw



UL 3741 PV HAZARD CONTROL (AND PVRSA) COMPATIBILITY

Tesla Solar Roof and Tesla/Zep ZS Arrays using the following modules are certified to UL 3741 and UL 1741 PVRSA when installed with the Tesla Solar Inverter and Solar Shutdown Devices. See the Tesla Solar Inverter Installation Manual for detailed instructions and for guidance on installing Tesla Solar Inverter and Solar Shutdown Devices with other modules.

Brand	Model	Required Solar Shutdown Devices
Tesla	Solar Roof V3	1 Solar Shutdown Device per 10 modules
Tesla	Tesla TxxxS (where xxx = 405 to 450 W, increments of 5)	1 Solar Shutdown Device per 3 modules¹
Hanwha	Q.PEAK DUO BLK-G5	1 Solar Shutdown Device per 3 modules
Hanwha	Q.PEAK DUO BLK-G6+	1 Solar Shutdown Device per 3 modules

¹Exception: Tesla solar modules installed in locations where the max Voc for three modules at low design temperatures exceeds 165 V shall be limited to two modules between MCIs.



# Tesla Photovoltaic Module

## T395H, T400H, and T405H

The Tesla module is one of the most powerful residential photovoltaic modules available and exceeds industry engineering and quality standards. Featuring our proprietary Zep Groove design, the all-black module mounts close to your roof for a minimalist aesthetic. Modules are certified to IEC / UL 61730 - 1, IEC / UL 61730 - 2 and IEC 61215.



## Module Specifications

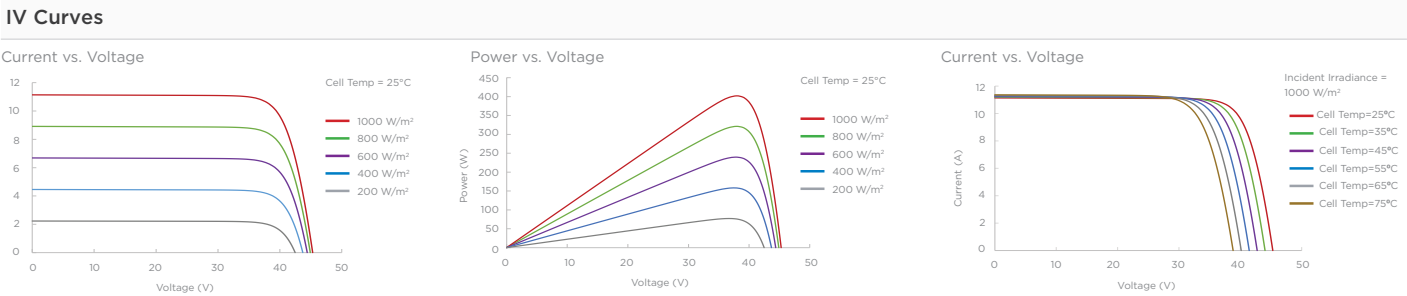
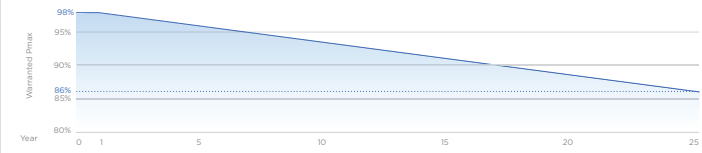
40 mm / 1.575 in

35 mm / 1.378 in

Electrical Characteristics						
Power Class	T395H		T400H		T405H	
Test Method	STC	NMOT	STC	NMOT	STC	NMOT
Max Power, P <sub>MAX</sub> (W)	395	296.3	400	300.1	405	303.8
Open Circuit Voltage, V <sub>OC</sub> (V)	45.27	42.69	45.30	42.72	45.34	42.76
Short Circuit Current, I <sub>SC</sub> (A)	11.10	8.95	11.14	8.97	11.17	9.00
Max Power Voltage, V <sub>MP</sub> (V)	36.88	35.03	37.13	35.25	37.39	35.46
Max Power Current, I <sub>MP</sub> (A)	10.71	8.46	10.77	8.51	10.83	8.57
Module Efficiency (%)	≥ 20.1		≥ 20.4		≥ 20.6	
STC	1000 W/m², 25°C, AM1.5					
NOCT	800 W/m², 20°C, AM1.5, wind speed 1 m/s					

Mechanical Loading			Temperature Rating (STC)	
Front Side Test Load	6120 Pa   128 lb/ ft²	Refer to module and system installation manuals for allowable design loads, foot spacings, and cantilever specifications.	Temperature Coefficient of I <sub>sc</sub>	+0.04% / °C
Rear Side Test Load	6120 Pa   128 lb/ ft²		Temperature Coefficient of V <sub>OC</sub>	-0.27% / °C
Front Side Design Load	4080 Pa   85 lb/ft²		Temperature Coefficient of P <sub>MAX</sub> (W)	-0.34% / °C
Rear Side Design Load	4080 Pa   85 lb/ft²			
Hail Test	35 mm at 27.2 m/s			
Mechanical Parameters				
Cell Orientation	132 (6 x 22)			
Junction Box	IP68, 3 diodes			
Cable	4 mm²   12 AWG, 1325 mm   47.2 in. Length			
Connector	Staubli MC4			
Front Cover	0.13 in (3.2 mm) thermally pre-stressed glass			
Frame	Black Anodized Aluminum Alloy			
Weight	23.5 kg   51.8 lb			
Dimension	1890 mm x 1046 mm x 40 mm 74.4 in x 41.2 in x 1.57 in			
Operation Parameters				
Operational Temperature	-40°C up to +85°C			
Power Output Tolerance	-0 /+5 W			
V <sub>OC</sub> & I <sub>SC</sub> Tolerance	+/- 5%			
Max System Voltage	DC 1000 V (IEC/UL)			
Max Series Fuse Rating	20 A			
NOCT	45.7 +/- 3 °C			
Safety Class	Class II			
Fire Rating	UL 61730 Type 2			

Linear Power Warranty	
Materials and Processing	25 years
Extra Linear Power Output	25 years
At least 98% of nominal power during first year. Thereafter max. 0.5% degradation per year. At least 93.5% of nominal power up to 10 years. At least 86% of nominal power up to 25 years.	





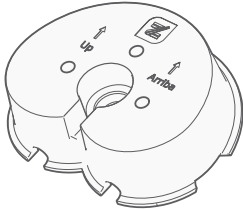
ROOFING SYSTEM SPECIFICATIONS



DESCRIPTION	PV mounting solution for composition shingle roofs.
	Works with all Zep Compatible Modules.
	Auto bonding UL-listed hardware creates structural and electrical bond.
SPECIFICATIONS	Designed for pitched roofs.
	Installs in portrait and landscape orientations.
	Engineered for spans up to 72” and cantilevers up to 24”.
	ZS Comp has a UL 1703 Class “A” Fire Rating when installed using modules from any manufacturer certified as “Type 1” or “Type 2”.
	Attachment method UL listed to UL 2582 for Wind Driven Rain.
	ZS Comp supports 50 psf (2400 Pa) front and up to 72 psf (3450 Pa) rear side design load rating for Portrait module orientation per UL 2703.
	ZS Comp supports 50 psf (2400 Pa) front side and up to 72 psf (3450 Pa) rear side design load rating for Landscape module orientation.
	Engineered for compliance with ASCE 7-05, 7-10, and 7-16 wind load requirements.
Zep wire management products listed to UL 1565 for wire positioning devices.	
ZS Comp grounding products are listed to UL 2703 and UL 467.	
ZS Comp bonding products are listed to UL 2703.	

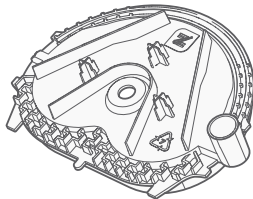
MOUNTING BLOCK

Listed to UL 2703  
Part #850-1633



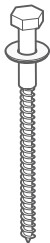
FLASHING INSERT

Listed to UL 2703 and UL 2582 for Wind Driven Rain  
Part #850-1628



CAPTURED WASHER LAG

Part #850-1631-002 and #850-1631-004



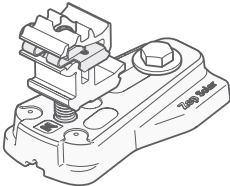
GROUND ZEP

Listed to UL 2703  
Part #850-1511



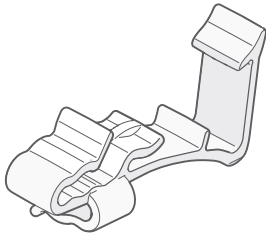
LEVELING FOOT

Listed to UL 2703  
Part #850-1397



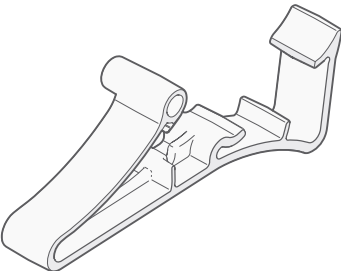
DC WIRE CLIP

Listed to UL 1565  
Part #850-1509



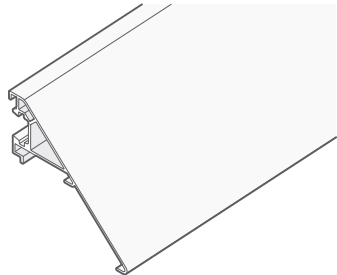
HOME RUN CLIP

Listed to UL 1565  
Part #850-1510



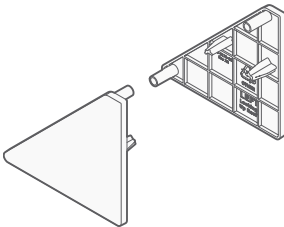
ARRAY SKIRT

Listed to UL 2703  
Part #850-1608



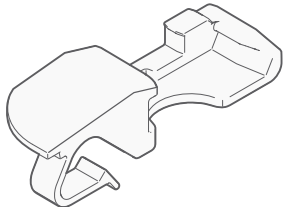
END CAP

Listed to UL 2703  
Part #850-1586 (Left)  
Part #850-1588 (Right)



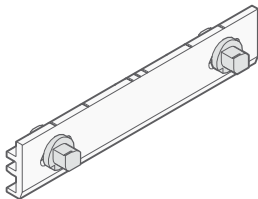
SKIRT GRIP

Listed to UL 2703  
Part #850-1606



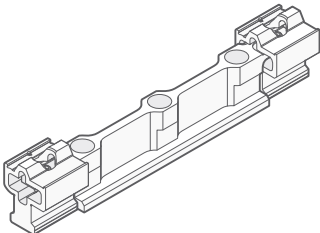
INTERLOCK

Listed to UL 2703  
Part #850-1613



HYBRID INTERLOCK

Listed to UL 2703  
Part #850-1281





PV HAZARD CONTROL SYSTEM | ZS PVHCS

UL 3741 REPORT DATE 10-20-21 (APPLICABLE TO ZS COMP, ZS SPAN, ZS RAMP, AND ZS SEAM)

PV RAPID SHUTDOWN ARRAY, UL 1741 CATEGORY QIJR

WARNING: To reduce the risk of injury, read all instructions.

PV HAZARD CONTROL EQUIPMENT AND COMPONENTS

Function	Manufacturer	Model No.	Firmware Versions and Checksums	Certification Standard
PVRSE Mid Circuit Interrupter (MCI)	Tesla	MCI-1	N/A	UL 1741 PVRSE
Inverter or Powerwall+	Tesla	7.6 kW: 1538000 <sup>1</sup> 3.8 kW: 1534000 <sup>1</sup> 7.6 kW: 1850000 <sup>1</sup>	V4, CEA4F802 V4, FF7BE4E1 V4, CEA4F802	UL 1741, 1998 PVRSS/PVRSE
PV Module	Hanwha/ Q-CELLS  Tesla	Q.PEAK DUO BLK-G5/SC310-320 Q.PEAK DUO BLK G6+/SC330-345 Tesla TxxxS (xxx = 405 to 450) Tesla TxxxH (xxx = 395 to 415)	N/A	UL 1703 UL 61730
PVHCS Initiator (PV Inverter)	Dedicated PV system AC circuit breaker or AC disconnect switch, labeled per NEC 690.12 requirements.			N/A
PVHCS Initiator (Powerwall+)	Emergency stop device (NISD)- Listed "Emergency Stop Button" or "Emergency Stop Device" or "Emergency Stop Unit".			UL 508 or UL 60947 Parts 1, 5-1 and 5-5

<sup>1</sup> Applies to variations of this part number with suffix of two numbers and one letter.

Note: PVHCS installation requirements may reduce the effective equipment and component ratings below the individual equipment and component PVRSE ratings in order to achieve PVHCS shock hazard reduction requirements.

PVHCS INSTALLATION REQUIREMENTS

Max System Voltage	600 Vdc
PVHCS Maximum Circuit Voltage (Array Internal Voltage After Actuation)	165 Vdc (cold weather open circuit)
Max Series-Connected Modules Between MCIs: *Exception: Tesla S-Series (TxxxS) modules installed in locations where the max VOC for 3 modules at low design temperature exceeds 165V shall be limited to 2 modules between MCIs.	3*

OTHER INSTALLATION INSTRUCTIONS

1. An MCI must be connected to one end of each series string or mounting plane sub-array string.
2. Verification that MCIs are installed with 3 or fewer modules between MCIs shall be documented for inspection, by voltage measurement logs and/or as-built string layout diagrams.
3. For PV Inverter: The PVHCS initiator (AC breaker or switch) shall be sized and installed in accordance with NEC requirements. The specific part shall be identified on the as-built system drawings.
4. For Powerwall+: The PVHCS emergency stop initiator shall have the following minimum ratings: Outdoor (Type 3R or higher), 12V, 1A, and shall be installed in accordance with NEC requirements. The specific part shall be identified on the as-built system drawings. Refer to the Powerwall+ installation manual for further details.



Certification Mark of UL on the installation instructions is the only method provided by UL to identify products manufactured under its Certification and Follow-Up Service. The Certification Mark for these products includes the UL symbol, the words "CERTIFIED" and "SAFETY," the geographic identifier(s), and a file number.

PV HAZARD CONTROL SYSTEM PVHCS | CERTIFICATION

UL 3741 REPORT DATE 8-12-21

PV RAPID SHUTDOWN ARRAY, UL 1741 CATEGORY QIJR, REPORT DATE: 2021-06-11 (REV 8-10-21)

WARNING: To reduce the risk of injury, read all instructions.

PV HAZARD CONTROL EQUIPMENT AND COMPONENTS

Function	Manufacturer	Model No.	Firmware Versions and Checksums	Certification Standard
PVRSE Mid Circuit Interrupter (MCI)	Tesla	MCI-1 1550379 <sup>1</sup>	N/A	UL 1741 PVRSE
Inverter or Powerwall+	Tesla	7.6 kW: 1538000 <sup>1</sup> 3.8 kW: 1534000 <sup>1</sup> 7.6 kW: 1850000 <sup>1</sup>	V4, CEA4F802 V4, FF7BE4E1 V4, CEA4F802	UL 1741, 1998 PVRSS/PVRSE
PV Module	Tesla	SR60T1, SR72T1 SR72T2	N/A	UL 61730
Diode Harness (Not applicable to SR72T2)	Tesla	SRDTH	N/A	UL 9703
PV Wire Jumper(s)	Tesla	SR-BJ2X, SR-BJ3X, SR-BJ4X, SR-BJMini	N/A	UL 9703
Pass-Through Box	Tesla	SRPTB-4	N/A	UL 1741
PVHCS Initiator : (PV Inverter)	Dedicated PV system AC circuit breaker or AC disconnect switch, labeled per NEC 690.12 requirements.			N/A
PVHCS Initiator : (Powerwall+)	Emergency stop device (NISD)- Listed "Emergency Stop Button" or "Emergency Stop Device" or "Emergency Stop Unit"			UL 508 or UL 60947 Parts 1, 5-1 and 5-5

<sup>1</sup> Applies to variations of this part number with suffix of two numbers and one letter.

Note: PVHCS installation requirements may reduce the effective equipment and component ratings below the individual equipment and component PVRSE ratings in order to achieve PVHCS shock hazard reduction requirements.

PVHCS INSTALLATION REQUIREMENTS

Max System Voltage	600 Vdc
PVHCS Maximum Circuit Voltage (Array Internal Voltage After Actuation)	165 Vdc (cold weather open circuit)
Max Series-Connected Panels between MCIs	10

OTHER INSTALLATION INSTRUCTIONS

1. An MCI must be connected to one end of each series string or mounting plane sub-array string.
2. Verification that MCIs are installed with 10 or fewer modules between MCIs shall be documented for inspection, by voltage measurement logs and/or as-built string layout diagrams.
3. For PV Inverter: The PVHCS initiator (AC breaker or switch) shall be sized and installed in accordance with NEC requirements. The specific part shall be identified on the as-built system drawings.
4. For Powerwall+: The PVHCS emergency stop initiator shall have the following minimum ratings: Outdoor (Type 3R or higher), 12V, 1A, and shall be installed in accordance with NEC requirements. The specific part shall be identified on the as-built system drawings. Refer to the Powerwall+ installation manual for further details.



Certification Mark of UL on the installation instructions is the only method provided by UL to identify products manufactured under its Certification and Follow-Up Service. The Certification Mark for these products includes the UL symbol, the words "CERTIFIED" and "SAFETY," the geographic identifier(s), and a file number.





## Energy Purchase Terms

Thanks for your purchase! Now that we have completed your order for your Solar System, including any Tesla Powerwall(s) you also ordered (all of which we call your “System” below), the next step is to prepare for and schedule installation of your System. In the meantime, below are some basic terms we need you to agree to in order to make sure we are on the same page (and along with this document are some required disclosures for you to review as well). We look forward to working with you and are excited that you are joining our effort to transition the world to sustainable energy!

1. **Your Purchase Price.** You have agreed to purchase your System at the price described in your Price Sheet. Your Price Sheet, which is considered part of these purchase terms, includes taxes. You have 7 days after you receive the Price Sheet and these purchase terms to reject them. If you don't reject them, or if you move forward with scheduling your installation, that means you are agreeing to the Price Sheet and these purchase terms.
2. **Updates to Price Sheet.** Even though we have completed the initial design of your System, we might need to make changes to that design, which also means we might need to update the pricing or System size based on a variety of factors, such as installation complexity or product availability. If that happens, we will update the Price Sheet. You have 7 days after you receive the updated Price Sheet to reject it. If you don't reject it, or if you move forward with scheduling your installation, that means you are agreeing to the updated Price Sheet and authorize us to develop and submit permit packets and otherwise prepare for your upcoming installation. The updated Price Sheet replaces any prior Price Sheet and is considered part of these purchase terms that you are agreeing to (unless you rejected the update). Tesla can also decide to increase the size of your Solar Roof at no additional cost to you.
3. **Cancellation.** At any point prior to the time when you schedule your installation, you can cancel your order for any reason. And so can we. We both just need to let the other know in writing (so there is no misunderstanding). We will return your order fee for any cancellations up until when you have agreed to final System design and pricing in the Price Sheet, after which your order fee is non-refundable.
4. **Home Owner's Association.** If your home is governed by a home owner's association or similar community organization, you are responsible for getting any required approvals and authorizations for your System.
5. **Installation.** We will contact you to schedule installation of your System. During installation, we might choose to make minor repairs commonly needed to install the System at no additional cost to you (like simple electric upgrades and roof preparation). We promise to repair or pay for damage we directly cause to your home or your property during installation of your System. If we fail to do that, please let us know, and we will make the repair (or have someone repair it) at our cost (and that will be your only remedy). But you need to let us know in writing and within a certain amount of time following the damage: within 10 years for Solar System installations, 4 years for Powerwall installations and 1 year for anything else.
6. **Equipment Limited Warranties.** Your solar panels and inverter come with a warranty from their manufacturers. The solar panel warranty will be at least 25 years and will guarantee at least 80% of nameplate capacity for at least 25 years. Your inverter warranty will cover defects for at least 10 years. You agree we can make warranty claims for you for your solar panels or inverter. If your order includes Powerwall(s), your Powerwall(s) are covered by the [Tesla Powerwall Limited Warranty](#). These warranties are considered part of these purchase terms.
7. **Remote Monitoring and Firmware Upgrades.** You agree that Tesla can access your System remotely to monitor its performance, perform diagnostics and upgrade firmware.
8. **Grid Services.** We might contact you about ways in which your System can support the reliability of the electrical grid and you agree we can contact you for that reason.
9. **Tesla Intellectual Property.** Tesla owns all patents, trademarks, copyrights, trade secrets and any other intellectual property rights associated with your System. Tesla gives you a limited, non-exclusive, license to use any software embedded in your System solely in connection with the use and operation of your System.



7- 90 days from the day installation begins

**Signed by**

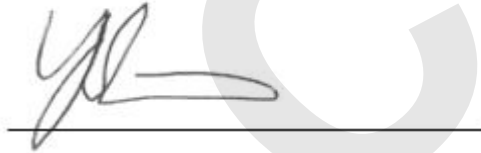
Your signature

Erik Dasque

Name: Erik Dasque

Date: 1/4/2022 1:55:06 PM +00:00

Tesla, Inc.

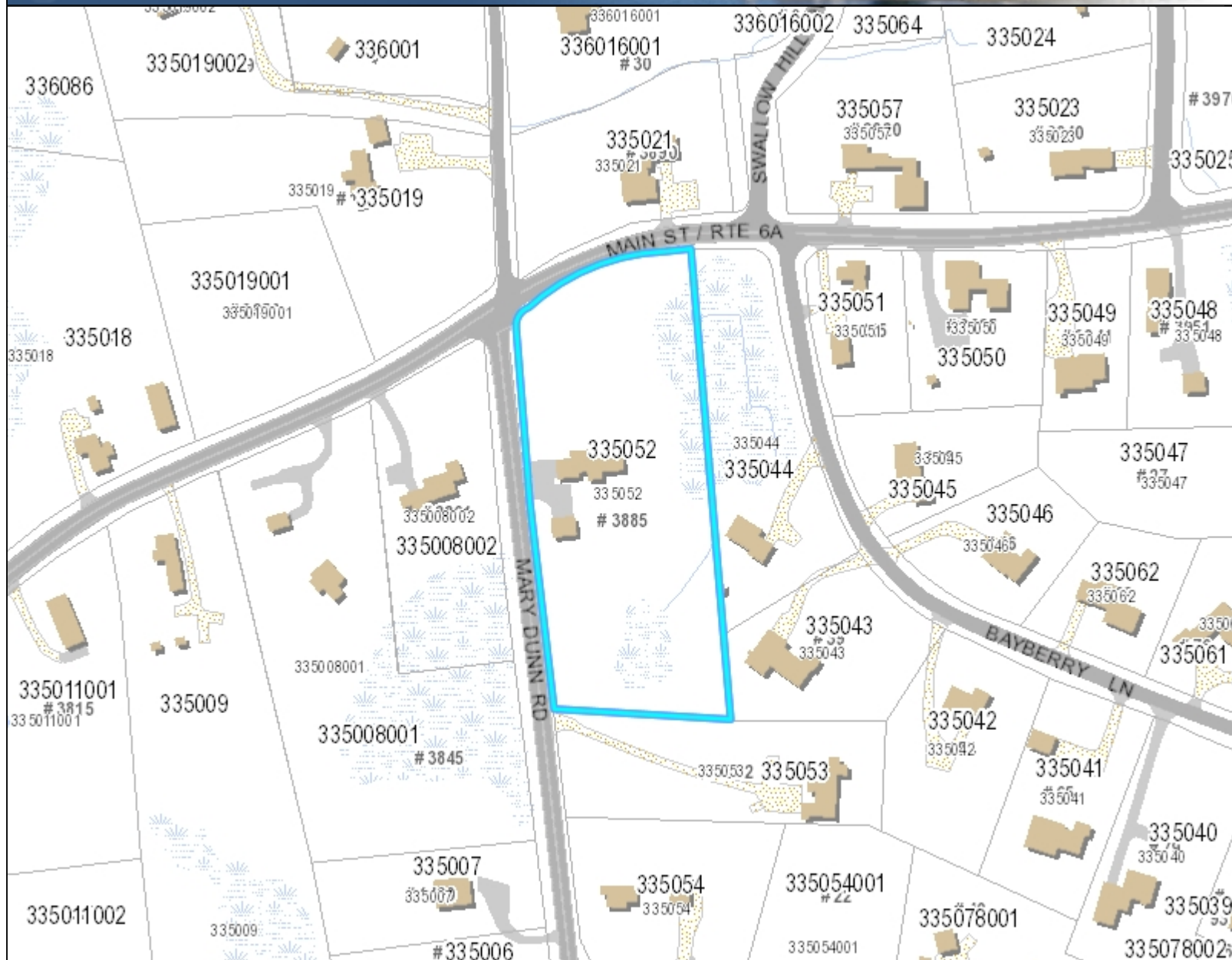
A handwritten signature in black ink, appearing to be 'YK', written over a horizontal line.

Name: Yaron Klein






















Title: VP, Financial Services & Treasurer

**You are entitled to a completely filled in copy of this Agreement, signed by both you and Tesla, before any work may be started.**





### Legend

-  Parcels
-  Town Boundary
-  Railroad Tracks
-  Buildings
-  Approx. Building
-  Buildings
-  Painted Lines
-  Parking Lots
-  Paved
-  Unpaved
-  Driveways
-  Paved
-  Unpaved
-  Roads
-  Paved Road
-  Unpaved Road
-  Bridge
-  Paved Median
-  Streams
-  Marsh
-  Water Bodies

Map printed on: 3/3/2022



Approx. Scale: 1 inch = 167 feet



**This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.**

**Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.**



## Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us





Map printed on: 3/3/2022

0 167 333 Feet

Approx. Scale: 1 inch = 167 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



Parcel: 315-030

Location: 113 BOULDER ROAD, Barnstable

Owner: DASQUE, ERIK & JAIME



Parcel

315-030

Location

113 BOULDER ROAD

Village

Barnstable

Town sewer account

No

Developer lot:

LOT 1A

Road type

Private

Fire district

Barnstable

Property Record Card

[Property Record Card PDF File](#)

Secondary road

Road index

0156

Interactive map



CWMP Sewer Expansion (subject to change with final engineering design)

Phase 2 (11-20 years)

Asbuilt septic scan

[315030\\_1](#) , [315030\\_2](#)

Owner: DASQUE, ERIK & JAIME

Owner

DASQUE, ERIK & JAIME

Street1

150 NAPLES ROAD

City

BROOKLINE

County

Co-Owner

Street2

State

MA

Zip

02446

Country

Book page

33412/0098

Street3

Land

Acres

1.47

Topography

Above Street

Utilities

Septic,Gas,Public Water

Use

Single Fam M-01

Street factor

Paved

Location factor

Zoning

RF-1

Town Zone of Contribution

AP (Aquifer Protection Overlay District)

State Zone of Contribution

OUT

Neighborhood

0107

Construction

Building 1 of 1

Year built

1988

Living area

2339

Gross area

6694

Style

Cape Cod

Model

Residential

Grade

Average Plus

Stories

1.5

Roof structure

Gable/Hip

Roof cover

Asph/F GlS/Cmp

Exterior wall

Wood Shingle, Clapboard

Interior wall

Plastered

Interior floor

Carpet, Hardwood

Foundation

Heat type

Hot Water

Heat fuel

Gas

AC type

Central

Bedrooms

4 Bedrooms

Bath rooms

3 Full-1 Half

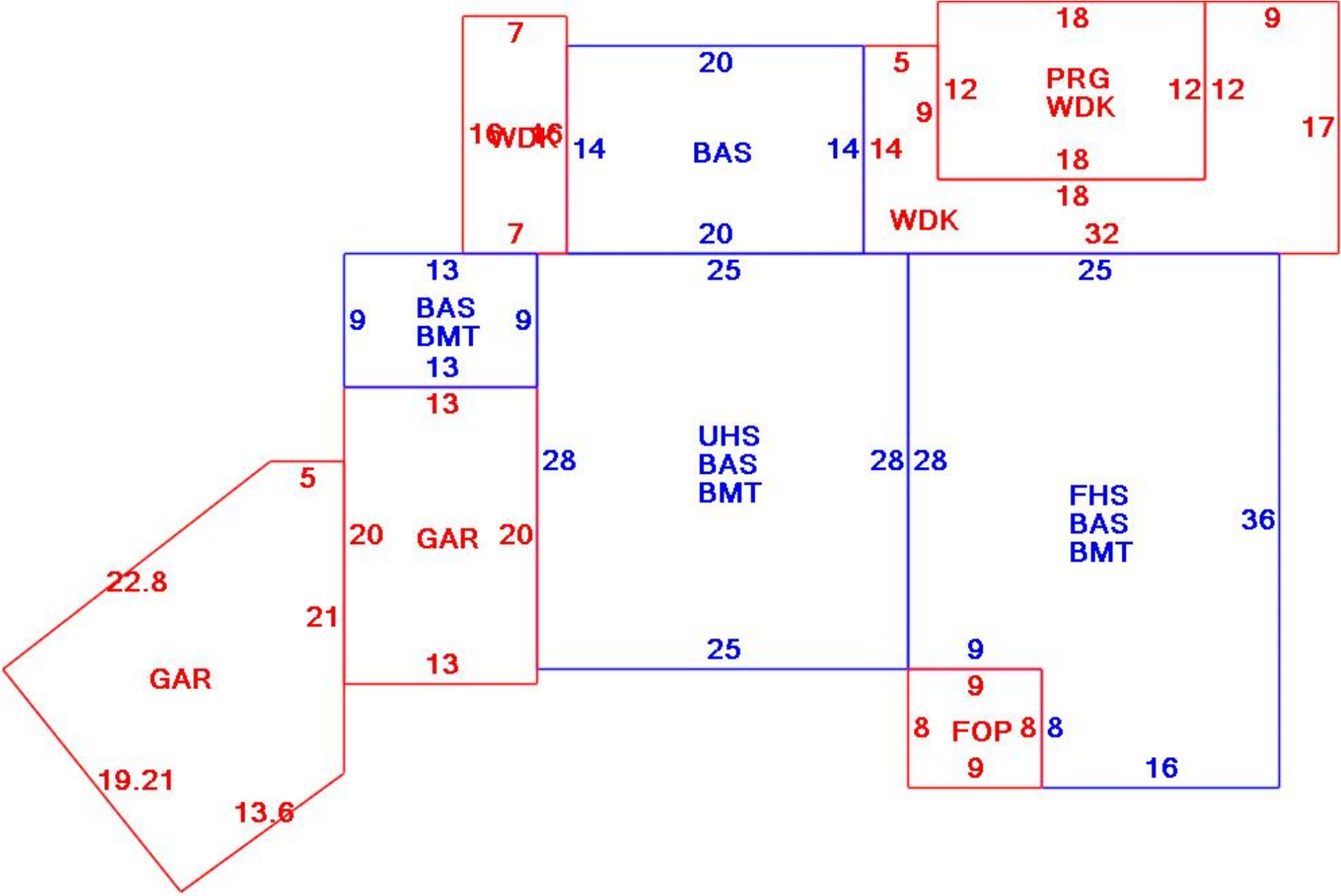
Total rooms

9 Rooms

https://itsqldb.town.barnstable.ma.us:8407

1/6





▼ Permit History

Issue Date	Purpose	Permit Number	Amount	InspectionDate	Comments
05/10/2021	Sid/Wind/Roof/Door	EXPR-21-778	\$3,477		Insualtion/Weatherization - home air sealing, duct sealing, attic insulation, common wall insulation, kneewall insulation, ventilation chutes, vent bath fan through roof - please see signed contract
01/27/2020	Sid/Wind/Roof/Door	20-242	\$16,000		Remove the existing shingle roof on the entire home,except for the garage and the rear dormer. Install GAF Timberline HD architectural style shingles
12/05/2011	Addition	201106459	\$40,000	01/25/2013	1 STORY GAR-HEALTH DEPT REQUIRES WTRPRF FND WALLS
09/15/2004	Swimming Pool	79228	\$20,000	03/16/2005	POOL 16X32
05/09/2000	Addition	45988	\$29,000	09/28/2000	FAMRM 14X20
06/01/1988	Dwelling	B31984	\$110,000	08/15/1989	BA 11/2 S

▼ Sale History

Line	Sale Date	Owner	Book/Page	Sale Price
1	10/29/2020	DASQUE, ERIK & JAIME	33412/0098	\$670,000
2	09/02/1999	DORMAN, KENNETH W & RAFTERY, KATHLEEN	12518/0233	\$250,000
3	12/15/1987	VALENTE, PAULINE A	6085/0257	\$95,000
4	03/15/1987	SACK, STEVEN C & JUDYTH M	5605/0012	\$93,300
5	09/03/1975	CAPPICCILLE, ROBERT	2230/0076	\$0

▼ Assessment History

Save #	Year	Building Value	XF Value	OB Value	Land Value	Total Parcel Value
1	2022	\$412,200	\$61,100	\$39,800	\$163,100	\$676,200
2	2021	\$345,500	\$61,900	\$39,800	\$165,600	\$612,800



Save #	Year	Building Value	XF Value	OB Value	Land Value	Total Parcel Value
3	2020	\$310,000	\$55,300	\$36,600	\$173,500	\$575,400
4	2019	\$268,700	\$55,300	\$38,500	\$184,000	\$546,500
5	2018	\$225,900	\$55,900	\$39,600	\$214,400	\$535,800
6	2017	\$211,200	\$57,100	\$40,100	\$214,400	\$522,800
7	2016	\$211,200	\$57,100	\$40,100	\$214,600	\$523,000
8	2015	\$198,800	\$52,700	\$39,900	\$165,900	\$457,300
9	2014	\$202,400	\$55,700	\$40,700	\$165,900	\$464,700
10	2013	\$183,100	\$55,700	\$34,900	\$216,400	\$490,100
11	2012	\$189,700	\$47,100	\$21,700	\$212,500	\$471,000
12	2011	\$219,000	\$3,500	\$22,200	\$212,500	\$457,200
13	2010	\$218,600	\$3,500	\$25,200	\$205,700	\$453,000
14	2009	\$245,900	\$2,900	\$14,500	\$205,600	\$468,900
15	2008	\$263,000	\$2,900	\$14,500	\$220,200	\$500,600
17	2007	\$261,700	\$2,900	\$14,500	\$220,200	\$499,300
18	2006	\$278,300	\$2,900	\$14,500	\$239,400	\$535,100
19	2005	\$243,500	\$2,800	\$0	\$239,400	\$485,700
20	2004	\$224,800	\$2,800	\$0	\$191,500	\$419,100
21	2003	\$177,400	\$2,800	\$0	\$89,400	\$269,600
22	2002	\$177,400	\$2,800	\$0	\$89,400	\$269,600
23	2001	\$173,700	\$2,800	\$0	\$89,400	\$265,900
24	2000	\$123,500	\$2,700	\$0	\$63,100	\$189,300
25	1999	\$123,500	\$2,700	\$0	\$63,100	\$189,300
26	1998	\$123,500	\$2,700	\$0	\$63,100	\$189,300
27	1997	\$111,800	\$0	\$0	\$51,600	\$163,400
28	1996	\$111,800	\$0	\$0	\$51,600	\$163,400
29	1995	\$111,800	\$0	\$0	\$51,600	\$163,400
30	1994	\$99,400	\$0	\$0	\$51,600	\$151,000
31	1993	\$99,400	\$0	\$0	\$52,400	\$151,800
32	1992	\$113,000	\$0	\$0	\$57,400	\$170,400
33	1991	\$131,100	\$0	\$0	\$91,800	\$222,900
34	1990	\$131,100	\$0	\$0	\$91,800	\$222,900
35	1989	\$0	\$0	\$0	\$91,800	\$91,800
36	1988	\$0	\$0	\$0	\$29,400	\$29,400
37	1987	\$0	\$0	\$0	\$29,400	\$29,400
38	1986	\$0	\$0	\$0	\$29,400	\$29,400

Photos















**Historic Districts (OKH or HMSWHD) Abutter List for Subject Parcel 315030**

Direct abutters – all parcels that touch subject property including those across the street or way that would touch but for the road.

Parcel ID	Owner 1	Owner 2	Address Line 1	Address Line 2	City	State	Zip
315008	BARNSTABLE, TOWN OF (LB)		367 MAIN STREET		HYANNIS	MA	02601
315009	GUERLAIN, JEAN N & CYNTHIA H TRS	GUERLAIN FAM TR	99 BOULDER ROAD		BARNSTABLE	MA	02630
315030	DASQUE, ERIK & JAIME		150 NAPLES ROAD		BROOKLINE	MA	02446
316026	LUCAS, JILL I TR	JILL LUCAS TRUST	294 SALT ROCK ROAD		BARNSTABLE	MA	02630
316027	KARNES, KELBY L AND	WILKOWSKI KARNES, ROBIN A	96 BOULDER ROAD		BARNSTABLE	MA	02630



Property ID: 315008  
BARNSTABLE. TOWN OF (LB)  
367 MAIN STREET  
HYANNIS. MA 02601

Property ID: 315009  
GUERLAIN. JEAN N & CYNTHIA H TRS  
GUERLAIN FAM TR  
99 BOULDER ROAD  
BARNSTABLE. MA 02630

Property ID: 315030  
DASQUE. ERIK & JAIME  
150 NAPLES ROAD  
BROOKLINE. MA 02446

Property ID: 316026  
LUCAS. JILL I TR  
JILL LUCAS TRUST  
294 SALT ROCK ROAD  
BARNSTABLE. MA 02630

Property ID: 316027  
KARNES. KELBY L AND  
WILKOWSKI KARNES. ROBIN A  
96 BOULDER ROAD  
BARNSTABLE. MA 02630



Property ID: 315008  
BARNSTABLE. TOWN OF (LB)  
367 MAIN STREET  
HYANNIS. MA 02601

Property ID: 315009  
GUERLAIN. JEAN N & CYNTHIA H TRS  
GUERLAIN FAM TR  
99 BOULDER ROAD  
BARNSTABLE. MA 02630

Property ID: 315030  
DASQUE. ERIK & JAIME  
150 NAPLES ROAD  
BROOKLINE. MA 02446

Property ID: 316026  
LUCAS. JILL I TR  
JILL LUCAS TRUST  
294 SALT ROCK ROAD  
BARNSTABLE. MA 02630

Property ID: 316027  
KARNES. KELBY L AND  
WILKOWSKI KARNES. ROBIN A  
96 BOULDER ROAD  
BARNSTABLE. MA 02630





Town of Barnstable  
Old King's Highway Historic District Committee  
200 Main Street, Hyannis, Massachusetts 02601  
Telephone (508) 862-4787, Email [grayce.rogers@town.barnstable.ma.us](mailto:grayce.rogers@town.barnstable.ma.us)



### APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Application is hereby made, with six (6) complete, colored sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Date 2/10/22

Map & Parcel 089011

Property Owner Todd Shea

Phone 505-564-2000

Street address 22 Abegale Snow Rd

Email SlimShea66@msn.com

Village WB

Mailing address SAME

Signature Todd Shea

Agent/Contractor Carl DeLorme

Phone 508-776-9323

Agent Address 38 Agawam Rd Marshus Mills MA

Email midcapeconst@gmail.com

Agent Signature Carl DeLorme

If approved, the Certificate of Appropriateness expires one year from the stamped approval date or upon the expiration of a Building Permit, whichever date shall be later. A one year extension may be requested, in writing, to the Old King's Highway Administrative Assistant at 200 Main Street, Hyannis, MA 02601. This request must be received prior to the date of expiration.

There is a 10 day appeal period plus a four day waiting period for all applications after which time your approval paperwork will be available for pickup and building permit sign-off. All applications are subject to meeting any applicable building code requirements.

<input type="checkbox"/> New Build	<input checked="" type="checkbox"/> Additi	<input checked="" type="checkbox"/> Check all categories that apply	<input checked="" type="checkbox"/> Residential	<input type="checkbox"/> Commercial	
<b>Building Construction</b>	<input type="checkbox"/> House	<input type="checkbox"/> Garage	<input type="checkbox"/> Barn	<input type="checkbox"/> Shed	<input type="checkbox"/> Other
<b>Type of Building</b>	<input checked="" type="checkbox"/> Roof	<input checked="" type="checkbox"/> Windows/Doors	<input checked="" type="checkbox"/> Siding/Painting	<input type="checkbox"/> Solar	<input checked="" type="checkbox"/> Other
<b>Project</b>	<input type="checkbox"/> Fence	<input type="checkbox"/> Wall	<input type="checkbox"/> Flag Pole	<input type="checkbox"/> Pool	<input type="checkbox"/> Other
<b>Landscape Feature</b>	<input type="checkbox"/> New Sign	<input type="checkbox"/> Replace Sign	<input type="checkbox"/> Repaint Sign	<input type="checkbox"/> Other	
<b>Signs</b>					

Description of Proposed Work one bedroom ensuite with one bathroom, Kitchen windows, balcony, stairs AND two dormers to be constructed above existing garage AND footprint of property.

DENIED

	for Committee use only	This Certificate is hereby	APPROVED		
	By a vote of	Ave	Nav	Abstain	Date
	Members signatures				
	Conditions of Approval				



# CERTIFICATE OF APPROPRIATENESS - SPEC SHEET

CHIMNEY Material Color

ROOF Make & style Certified Color Slate Gray Architectural (Existing)  
Roof Pitch (s) - (7/12 minimum) 12/12 Asphalt

GUTTER Type/Material Color

## WINDOWS, DOORS, TRIM, SHUTTERS, SKYLIGHTS

Window/Door Trim material Wood Other specify

Size of cornerboards 1x5 Size of casings (1x4 min) 1x4 Color white

Rakes 1st member 1x8 2nd Member 1x5 Depth of overhang 8"

Windows: Make/Model Anderson Material wood Color white

Window Grills Divided Light Exterior Glued Grills Grills Between Glass ☒

Removable Interior Grills ☒ No Grills Grill Pattern C.X.G.

Doors: Style & Make thermatite Material fiberglass Color white

Garage doors: Style Size of opening Material

Existing Color

Shutters: ☒ Type & Style Material Color

Skylights: Type Rob. S.V.T. Make & Model Rob. S.V.T.

Material wood Size Color

SIDING Type Clapboard ☒ Shingle ☒ Other

Material Red Cedar ☒ White Cedar ☒ Other

Paint Color NATURAL

FOUNDATION NA Type (max 12' exposed)

DECK Material Pressure treated w/white trim Color white

SIGNS NA Size Materials Color

FENCE NA Type (split rail chain link) Color

Material Length

RETAING WALL NA Description

LIGHTING Type and location (free standing affixed to structure, illuminated) MASON JAR style Exterior Light (one)



## NEW BUILDINGS, ADDITION, OR COMMERCIAL BUILDING CHECKLIST – CERTIFICATE OF APPROPRIATENESS

*Submit Six (6) complete colored sets, unless otherwise noted*

- ..... Application for Certificate of Appropriateness
- ..... Spec Sheet, brochures or diagram
- ..... Site Plan
  - ..... Name of applicant, street location, map and parcel
  - ..... Name of architect, engineer, or surveyor; original stamp & signature; date of plan & revision dates
  - ..... North arrow, written and drawn to scale
  - ..... Changes to existing grades shown with one-foot contours
  - ..... Proposed & existing footprint of building and/or structures, and distance to lot lines
  - ..... Proposed driveway location
  - ..... Proposed limits of clearing for building (s), assessor structure (s), driveway and septic system
  - ..... Retaining walls or accessory structures (e.g. pool, tennis court, cabana, barn, garage, etc)
- ..... Building Elevations
  - ..... Plans at scale of 1/4" = 1 foot; a written drawn scale
  - ..... Plans at a reduced scale to fit 8.5"x11 or 11x17 paper
  - ..... Name of applicant, street location, map and parcel
  - ..... Name of Building Designer, or architect; original signature of plan preparer and stamp; plan date, and all revision dates.

*\*All new house or commercial building plans must have an original signature and stamp, if any, by a registered Architect, member of AIBD, or a licensed Massachusetts Home Improvement Contractor, unless this requirement is waived by the Old King's Highway Historic District Committee.*

  - ..... A written and bar drawn scale
  - ..... Elevations of all (affected) sides of the building, with dimensions including height from the natural grade adjacent to the building to the top of the ridge; location and elevation of finished grade, roof pitch (s) dormer setbacks; trim style, window and door styles. Changes to existing building must be clouded on drawings.
  - ..... Window schedule on plans
- ..... Landscape Plan (drawn on a certified perimeter plan containing the following)
  - ..... Name of applicant, street address, assessor's map and parcel number
  - ..... Name, address, and telephone number of the plan preparer, plan date, & date of revisions
  - ..... The location of existing and proposed buildings and structures, and lot lines
  - ..... Natural features of site (i.e. rock outcroppings, streams, wetlands, etc)
  - ..... Existing buffer areas to remain
  - ..... Location and species of trees and plants
  - ..... Driveway, parking areas, walkways, and patios, indicating materials to be used
  - ..... Existing stone walls, and proposed walls including retaining walls for slope retention or septic systems
  - ..... *For removal of stone walls, you must file a demolition application*
  - ..... All proposed exterior lighting and signs
- ..... Sketch or Photos of adjacent properties
  - ..... A sketch (s) to scale or photographs of nearby adjacent buildings, where present, along both sides of the street frontage,
  - ..... Showing the proposed new house or commercial building in scale and in relationship to the existing buildings.
  - ..... *Please discuss with staff if you do not think this is relevant to your application.*
- ..... Photographs of all sides of existing buildings to remain or being added to

### Existing building, foot print

Building 1 (sq. ft.) Applied Area only 1152 sqft Building 2 (sq. ft.) 1152 sqft

### Existing building, gross floor area, including area of finished basement

Building 1 (sq. ft.) \_\_\_\_\_ Building 2 (sq. ft.) \_\_\_\_\_

### New Building or addition, foot print

Building 1 (sq. ft.) 811 sqft Building 2 (sq. ft.) 811 sqft

### New Building or addition, gross floor area, including area of finished basement

Building 1 (sq. ft.) \_\_\_\_\_ Building 2 (sq. ft.) \_\_\_\_\_

Plan preparer, signature and date \_\_\_\_\_



## SOLAR PANEL SUPPLEMENT

### STRUCTURE ONE

#### STRUCTURE TYPE

Home ☐Garage ☐Barn ☐

#### ELEVATION PLACEMENT

North ☐South ☐East ☐West ☐

#### ROOF MEASUREMENTS

Length Height Pitch 

#### SOLAR PANEL MEASUREMENTS

Length Depth Width 

#### SOLAR PANEL TYPE & FINISH

Color Finish (matte or glossy) 

### STRUCTURE TWO

#### STRUCTURE TYPE

Home ☐Garage ☐Barn ☐

#### ELEVATION PLACEMENT

North ☐South ☐East ☐West ☐

#### ROOF MEASUREMENTS

Length Height Pitch 

#### SOLAR PANEL MEASUREMENTS

Length Depth Width 

#### SOLAR PANEL TYPE & FINISH

Type

Roof Mounted ☐Ground Mounted ☐Canopy/Carport System ☐Color Finish (matte or glossy) 

Solar Company

Phone

Solar representative

Print Name

Signature

Date



## SIGN SUPPLEMENT

### PROJECT TYPE

New ☐

Minor Change to Existing Sign ☐

Replace Existing Color ☐

Replace Existing Sign with New ☐

### MOUNTING TYPE

Post Mount ☐

*Post Mount Installation Type*

Surface Installation ☐

Direct Burial Installation ☐

Wall/Surface Mount ☐

Mounting type

Elevation affixed to

### ASTHETICS

Size

Material

Lettering (style)

Color

Post/Mount Material

Color

Height to Crossbar

Single Faced ☐

Double Faced ☐

### LIGHTING

Will the sign be lit

Yes ☐

No ☐

Type of Lighting

Placement of Lighting

### ADDITIONAL INFORMATION



## CHECKLIST – CERTIFICATE OF APPROPRIATENESS

*Please complete the Checklist that is applicable to your project.*

*Submit six (6) complete colored sets, unless otherwise noted*

### FEES

- .... **Filing Fee** according to fee schedule, please make checks payable to the Town of Barnstable
- .... **Legal Ad fee**, in the amount of **\$19.84**, made payable to the Town of Barnstable
- .... **First Class Postage Stamps** for abutter notification. Please contact Barnstable Old King's Highway Office for correct count

### ALTERATIONS *(new paint color, change of siding material, roofing, windows, doors, shutters, etc)*

- .... **Application for Certificate of Appropriateness**
- .... **Spec Sheet**, brochures and color samples
- .... Plans of building elevations/photographs, **ONLY** if there is a change to the location and size of the window (s) or Door (s).

### MINOR ADDITIONS *(decks, enclosing a porch, sheds (over 120 sqft)*

- .... **Application for Certificate of Appropriateness**,
- .... **Spec Sheet**, brochures and color samples
- .... **Site Plan**, **ONLY** if there are changes to the footprint *(see site plan criteria below)*
  - A site plan drawn on a mortgage survey plan or GIS map may be used for minor additions, **UNLESS** the porch, deck, pool, or Shed etc. is close to lot lines, zoning setback lines, or other buildings, in which case a certified site plan must be submitted
- .... **Photographs** of all building elevation affected by any proposed alterations
- .... **Plans** 2 full scale plans, plus 4 copies of the plan at reduced scale to fit 8.5x11 or 11x17 paper
  - Company brochure of manufacturers shed or to-scale sketch or affected structure or building elevations

### ASSESSORY STRUCTURES, NEW/ALTERED *(fences, new stonewalls, changes to retaining walls, pools etc)*

- .... **Application for Certificate of Appropriateness**
- .... **Spec Sheet**, brochures &/or diagram
- .... **Site Plan** *(see site plan criteria below)*
- .... **Photographs** of any existing structure that will be affected by the change

### SIGNS *(complete sign supplement)*

- .... **Rendering** of the proposed sign, showing graphics, dimensions, design and height of post, color, and materials
- .... **Site Plan** on GIS map or mortgage survey, or photographs, or to-scale sketch of building elevation showing location of Proposed sign; and any tree to be removed near a freestanding sign *(see below for site plan criteria)*

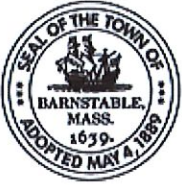
### SOLAR PANELS *(complete solar panel supplement)*

- .... **Drawing** of locations of panels on house showing roof and panel dimensions
- .... **Site Plan** showing location of building on property *(see site plan criteria below)*

## SITE PLAN CRITERIA

- .... Name of applicant, street location, map and parcel
- .... Name of architect, engineer, or surveyor; original stamp & signature; date of plan & revision dates
- .... North arrow, written and drawn to scale
- .... Changes to existing grades shown with one-foot contours
- .... Proposed & existing footprint of building and/or structures, and distance to lot lines
- .... Proposed driveway location
- .... Proposed limits of clearing for building (s), assessor structure (s), driveway and septic system
- .... Retaining walls or accessory structures (e.g. pool, tennis court, cabana, barn, garage, etc)





**Town of Barnstable**  
**Old King's Highway Historic District Committee**  
200 Main Street, Hyannis, Massachusetts 02601  
Telephone (508) 862-4787, Email [grayce.rogers@town.barnstable.ma.us](mailto:grayce.rogers@town.barnstable.ma.us)



**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

Application is hereby made, with six (6) complete, colored sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Date 2-15-2022

Map & Parcel

136/004

Property Owner ARLENE ANTONICELLI / SHARON MURPHY

Phone 202-770-8936

Street address 19 THAGE LN

Email ARLENE 428@MSN.COM

Village WEST

Mailing address PO BOX 789 W. BARN 02668

Signature [Signature]

Agent/Contractor REEF BUILDERS / JIM HAGERTY

Phone 508 258 7069

Agent Address PO BOX 186 W. DENNIS 02670

Email JHAGERTY@CAPECODBUILDER.COM

Agent Signature [Signature]

If approved, the Certificate of Appropriateness expires one year from the stamped approval date or upon the expiration of a Building Permit, whichever date shall be later. A one year extension may be requested, in writing, to the Old King's Highway Administrative Assistant at 200 Main Street, Hyannis, MA 02601. This request must be received prior to the date of expiration.

There is a 10 day appeal period plus a four day waiting period for all applications after which time your approval paperwork will be available for pickup and building permit sign-off. All applications are subject to meeting any applicable building code requirements.

Building Construction	<input type="checkbox"/> New Build	<input checked="" type="checkbox"/> Addition	<input checked="" type="checkbox"/> Residential	<input type="checkbox"/> Commercial
Type of Building	<input checked="" type="checkbox"/> House	<input checked="" type="checkbox"/> Garage	<input type="checkbox"/> Barn	<input type="checkbox"/> Shed
Project	<input checked="" type="checkbox"/> Roof	<input checked="" type="checkbox"/> Windows/Doors	<input checked="" type="checkbox"/> Siding/Painting	<input type="checkbox"/> Solar
Landscape Feature	<input type="checkbox"/> Fence	<input type="checkbox"/> Wall	<input type="checkbox"/> Flag Pole	<input type="checkbox"/> Pool
Signs	<input type="checkbox"/> New Sign	<input type="checkbox"/> Replace Sign	<input type="checkbox"/> Repaint Sign	<input type="checkbox"/> Other

Description of Proposed Work CONSTRUCT A 2 CAR GARAGE MUDROOM ADDITION  
WITH BEDROOM SUITE ABOVE  
REPAIR DRIVEWAY W/ NATURAL 3/4" STONE & LOAM & SEED DISTURBED AREAS

**DENIED**

for Committee use only

This Certificate is hereby

**APPROVED**

By a vote of Aye  Nay  Abstain

Date

Members signatures

Conditions of Approval



# CERTIFICATE OF APPROPRIATENESS – SPEC SHEET

**CHIMNEY** NONE Material  Color

**ROOF** Make & style ARCH STYLE ASPHALT MATCH EXISTING Color   
 Roof Pitch (s) – (7/12 minimum) 12/12, 12/50 DORMERS - SEE PLAN  
(specify on plans for new building & major additions)

**GUTTER** Type/Material 5" ALUMINUM Color WHITE

## WINDOWS, DOORS, TRIM, SHUTTERS, SKYLIGHTS

Window/Door Trim material Wood  Other specify AZEK - PAINTED

Size of cornerboards 1x6 Size of casings (1x4 min) 1x4 Color WHITE

Rakes 1<sup>st</sup> member 1x8 2<sup>nd</sup> Member 1x3 Depth of overhang 8"

Windows: Make/Model ANDERSEN 400TW Material ALUM. CLAD Color WHITE

Window Grills Divided Light ☐ Exterior Glued Grills ☐ Grills Between Glass ☐  
 Removable Interior Grills ☒ TO MATCH EXISTING No Grills ☐ Grill Pattern 6/6

Doors: Style & Make VARIES Material FIBERGLASS Color WHITE S4DR  
BLUE SWINGS  
 Garage doors: Style RAISED PANEL Size of opening 9x9 Material ALUMINUM MATCH EXIST.

Color WHITE

Shutters: Type & Style NONE Material  Color

Skylights: Type NONE Make & Model   
 Material  Size  Color

**SIDING** Type Clapboard ☐ Shingle ☒ Other ☐  
 Material Red Cedar ☐ White Cedar ☒ Other ☐  
 Paint Color MATCH EXISTING - SEE PICTURES

**FOUNDATION** Type POURED CONCR. (max 12' exposed)

**DECK** Material AZEK Color GRAY

**SIGNS** NONE Size  Materials  Color

**FENCE** Type (split rail, chain link) Color   
NONE Material  Length

**RETAING WALL** Description NONE

**LIGHTING** Type and location (free standing affixed to structure, illuminated) ONION TO MATCH EXISTING



## CHECKLIST – CERTIFICATE OF APPROPRIATENESS

*Please complete the Checklist that is applicable to your project.*

**Submit six (6) complete colored sets, unless otherwise noted**

### FEES

- .... Filing Fee according to fee schedule, please make checks payable to the Town of Barnstable
- .... Legal Ad fee, in the amount of \$19.84, made payable to the Town of Barnstable
- .... First Class Postage Stamps for abutter notification. Please contact Barnstable Old King's Highway Office for correct count

### ALTERATIONS *(new paint color, change of siding material, roofing, windows, doors, shutters, etc)*

- .... Application for Certificate of Appropriateness
- .... Spec Sheet, brochures and color samples
- .... Plans of building elevations/photographs, ONLY if there is a change to the location and size of the window (s) or Door (s).

### MINOR ADDITIONS *(decks, enclosing a porch, sheds (over 120 sqft)*

- ✓ Application for Certificate of Appropriateness,
- ✓ Spec Sheet, brochures and color samples
- ✓ Site Plan, ONLY if there are changes to the footprint *(see site plan criteria below)*
  - A site plan drawn on a mortgage survey plan or GIS map may be used for minor additions, UNLESS the porch, deck, pool, or Shed etc. is close to lot lines, zoning setback lines, or other buildings, in which case a certified site plan must be submitted
- ✓ Photographs of all building elevation affected by any proposed alterations
- ✓ Plans 2 full scale plans, plus 4 copies of the plan at reduced scale to fit 8.5x11 or 11x17 paper
  - Company brochure of manufacturers shed or to-scale sketch or affected structure or building elevations

### ASSESSORY STRUCTURES, NEW/ALTERED *(fences, new stonewalls, changes to retaining walls, pools etc)*

- .... Application for Certificate of Appropriateness
- .... Spec Sheet, brochures &/or diagram
- .... Site Plan *(see site plan criteria below)*
- .... Photographs of any existing structure that will be affected by the change

### SIGNS *(complete sign supplement)*

- .... Rendering of the proposed sign, showing graphics, dimensions, design and height of post, color, and materials
- .... Site Plan on GIS map or mortgage survey, or photographs, or to-scale sketch of building elevation showing location of Proposed sign; and any tree to be removed near a freestanding sign *(see below for site plan criteria)*

### SOLAR PANELS *(complete solar panel supplement)*

- .... Drawing of locations of panels on house showing roof and panel dimensions
- .... Site Plan showing location of building on property *(see site plan criteria below)*

### SITE PLAN CRITERIA

- .... Name of applicant, street location, map and parcel
- .... Name of architect, engineer, or surveyor; original stamp & signature; date of plan & revision dates
- .... North arrow, written and drawn to scale
- .... Changes to existing grades shown with one-foot contours
- .... Proposed & existing footprint of building and/or structures, and distance to lot lines
- .... Proposed driveway location
- .... Proposed limits of clearing for building (s), assessor structure (s), driveway and septic system
- .... Retaining walls or accessory structures (e.g. pool, tennis court, cabana, barn, garage, etc)



# NEW BUILDINGS, ADDITION, OR COMMERCIAL BUILDING CHECKLIST – CERTIFICATE OF APPROPRIATENESS

**Submit Six (6) complete colored sets, unless otherwise noted**

☒ **Application** for Certificate of Appropriateness

☒ **Spec Sheet**, brochures or diagram

☒ **Site Plan**

- ..... Name of applicant, street location, map and parcel
- ..... Name of architect, engineer, or surveyor; original stamp & signature; date of plan & revision dates
- ..... North arrow, written and drawn to scale
- ..... Changes to existing grades shown with one-foot contours
- ..... Proposed & existing footprint of building and/or structures, and distance to lot lines
- ..... Proposed driveway location
- ..... Proposed limits of clearing for building (s), assessor structure (s), driveway and septic system
- ..... Retaining walls or accessory structures (e.g. pool, tennis court, cabana, barn, garage, etc)

☒ **Building Elevations**

- ..... Plans at scale of  $\frac{1}{4}'' = 1'$  foot; a written drawn scale
- ..... Plans at a reduced scale to fit 8.5"x11 or 11x17 paper
- ..... Name of applicant, street location, map and parcel
- ..... Name of Building Designer, or architect; original signature of plan preparer and stamp; plan date, and all revision dates.  
*\*All new house or commercial building plans must have an original signature and stamp, if any, by a registered Architect, member of AIBD, or a licensed Massachusetts Home Improvement Contractor, unless this requirement is waived by the Old King's Highway Historic District Committee.*
- ..... A written and bar drawn scale
- ..... Elevations of all (affected) sides of the building, with dimensions including height from the natural grade adjacent to the Building to the top of the ridge; location and elevation of finished grade, roof pitch (s) dormer setbacks; trim style, window And door styles. Changes to existing building must be clouded on drawings.
- ..... Window schedule on plans

☒ **Landscape Plan** (drawn on a certified perimeter plan containing the following)

- ..... Name of applicant, street address, assessor's map and parcel number
- ..... Name, address, and telephone number of the plan preparer, plan date, & date of revisions
- ..... The location of existing and proposed buildings and structures, and lot lines
- ..... Natural features of site (i.e. rock outcroppings, streams, wetlands, etc)
- ..... Existing buffer areas to remain
- ..... Location and species of trees and plants
- ..... Driveway, parking areas, walkways, and patios, indicating materials to be used
- ..... Existing stone walls, and proposed walls including retaining walls for slope retention or septic systems  
*For removal of stone walls, you must file a demolition application*
- ..... All proposed exterior lighting and signs

☒ **Sketch or Photos of adjacent properties**

- ..... A sketch (s) to scale or photographs of nearby adjacent buildings, where present, along both sides of the street frontage, Showing the proposed new house or commercial building in scale and in relationship to the existing buildings.  
*Please discuss with staff if you do not think this is relevant to your application.*

☒ **Photographs of all sides of existing buildings** to remain or being added to

**Existing building, foot print**

Building 1 (sq. ft.) 956 S.F. Building 2 (sq. ft.) \_\_\_\_\_

**Existing building, gross floor area, including area of finished basement**

Building 1 (sq. ft.) 2,184 S.F. Building 2 (sq. ft.) \_\_\_\_\_

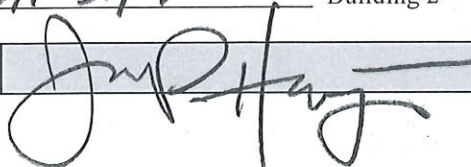
**New Building or addition, foot print**

Building 1 (sq. ft.) 1,041 S.F. Building 2 (sq. ft.) \_\_\_\_\_

**New Building or addition, gross floor area, including area of finished basement**

Building 1 (sq. ft.) 1,311 S.F. Building 2 (sq. ft.) \_\_\_\_\_

**Plan preparer, signature and date**

 2/15/22



GENERAL NOTES:

- A.) NEITHER DRIVEWAYS NOR PARKING AREAS ARE ALLOWED OVER SEPTIC SYSTEM UNLESS H-20 COMPONENTS ARE USED.
- B.) THE DESIGNER WILL NOT BE RESPONSIBLE FOR THE SYSTEM AS DESIGNED UNLESS CONSTRUCTED AS SHOWN. ANY CHANGES SHALL BE APPROVED IN WRITING.
- C.) CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND AND OVERHEAD UTILITIES PRIOR TO COMMENCEMENT OF WORK.

CONSTRUCTION NOTES:

- 1.) ALL CONSTRUCTION SHALL CONFORM TO THE STATE ENVIRONMENTAL CODE, TITLE 5, AND THE REQUIREMENTS OF THE LOCAL BOARD OF HEALTH.
- 2.) SEPTIC TANK(S), GREASE TRAP(S), DOSING CHAMBER(S) AND DISTRIBUTION BOX(ES) SHALL BE SET ON A LEVEL STABLE BASE WHICH HAS BEEN MECHANICALLY COMPACTED, OR ON A 6 INCH CRUSHED STONE BASE.
- 3.) SEPTIC TANK(S) SHALL MEET ASTM STANDARD C1127-93 AND SHALL HAVE AT LEAST THREE 20" DIAMETER MANHOLES. THE MINIMUM DEPTH FROM THE BOTTOM OF THE SEPTIC TANK TO THE FLOW LINE SHALL BE 48".
- 4.) SCHEDULE 40 PVC INLET AND OUTLET TEES SHALL EXTEND A MINIMUM OF 6" ABOVE THE FLOW LINE OF THE SEPTIC TANK AND SHALL BE INSTALLED ON THE CENTERLINE OF THE TANK DIRECTLY UNDER THE CLEANOUT MANHOLE.
- 5.) RAISE COVERS OF THE SEPTIC TANK AND DISTRIBUTION BOX WITH PRECAST CONCRETE WATER TIGHT RISERS OVER INLET AND OUTLET TEES TO WITHIN 6" OF FINISH GRADE, OR AS APPROVED BY THE LOCAL BOARD OF HEALTH AGENT.
- 6.) PIPING SHALL CONSIST OF 4" SCHEDULE 40 PVC OR EQUIVALENT. PIPE SHALL BE LAID ON A MINIMUM CONTINUOUS GRADE OF NOT LESS THAN 1%.
- 7.) DISTRIBUTION LINES FOR SOIL ABSORPTION SYSTEM (AS REQUIRED) SHALL BE 4" DIAMETER SCHEDULE 40 PVC LAID AT 0.005 FT/FT. LINE SHALL BE CAPPED AT END OR AS NOTED.
- 8.) OUTLET PIPES FROM DISTRIBUTION BOX SHALL REMAIN LEVEL FOR AT LEAST 2' BEFORE PITCHING TO SOIL ABSORPTION SYSTEM. WATER TEST DISTRIBUTION BOX TO ASSURE EVEN DISTRIBUTION.
- 9.) DISTRIBUTION BOX SHALL HAVE A MINIMUM SUMP OF 6" MEASURED BELOW THE OUTLET INVERT.
- 10.) BASE AGGREGATE FOR THE LEACHING FACILITY SHALL CONSIST OF 3/4" TO 1-1/2" DOUBLE WASHED STONE FREE OF IRON, FINES AND DUST AND SHALL BE INSTALLED BELOW THE CROWN OF THE DISTRIBUTION LINE TO THE BOTTOM OF THE SOIL ABSORPTION SYSTEM. BASE AGGREGATE SHALL BE COVERED WITH A 2" LAYER OF 1/8" TO 1/2" DOUBLE WASHED STONE FREE OF IRON, FINES AND DUST.
- 11.) VENT SOIL ABSORPTION SYSTEM WHEN DISTRIBUTION LINES EXCEED 50 FEET; WHEN LOCATED EITHER IN WHOLE OR IN PART UNDER DRIVEWAYS, PARKING AREAS, TURNING AREAS OR OTHER IMPERVIOUS MATERIAL; OR WHEN PRESSURE DOSED.
- 12.) SOIL ABSORPTION SYSTEM SHALL BE COVERED WITH A MINIMUM OF 9" OF CLEAN MEDIUM SAND (EXCLUDING TOPSOIL).
- 13.) FINISH GRADE SHALL BE A MAXIMUM OF 36" OVER THE TOP OF ALL SYSTEM COMPONENTS, INCLUDING THE SEPTIC TANK, DISTRIBUTION BOX, DOSING CHAMBER AND SOIL ABSORPTION SYSTEM. SEPTIC TANKS SHALL HAVE A MINIMUM COVER OF 9".
- 14.) FROM THE DATE OF INSTALLATION OF THE SOIL ABSORPTION SYSTEM UNTIL RECEIPT OF A CERTIFICATE OF COMPLIANCE, THE PERIMETER OF THE SOIL ABSORPTION SYSTEM SHALL BE STAKED AND FLAGGED TO PREVENT THE USE OF SUCH AREA FOR ALL ACTIVITIES THAT MIGHT DAMAGE THE SYSTEM.
- 15.) SUBSURFACE COMPONENTS OF A SYSTEM SHALL NOT BE BACKFILLED OR OTHERWISE CONCEALED FROM VIEW UNTIL A FINAL INSPECTION HAS BEEN CONDUCTED BY THE APPROVING AUTHORITY AND PERMISSION HAS BEEN GRANTED BY THE APPROVING AUTHORITY TO BACKFILL THE SYSTEM. THE DESIGNER SHALL INSPECT THE CONSTRUCTION AFTER THE INITIAL EXCAVATION, PRIOR TO BACKFILLING, AND DURING BACKFILLING. IN ADDITION, THE FINAL INSPECTION OF THE SYSTEM SHALL BE CONDUCTED BY THE APPROVING AUTHORITY, THE SYSTEM INSTALLER AND DESIGNER PRIOR TO THE ISSUANCE OF A CERTIFICATE OF COMPLIANCE PURSUANT TO 310 CMR 15.02(13). ANY COMPONENT OF THE SYSTEM WHICH HAS BEEN COVERED WITHOUT SUCH PERMISSION SHALL BE UNCOVERED UPON REQUEST OF THE APPROVING AUTHORITY OR THE DEPARTMENT.

SYSTEM DESIGN CALCULATIONS:

SEWAGE DESIGN FLOW:  
7 BEDROOM DWELLING @ 110 GPD = 220 GPD

LEACHING CAPACITY REQUIRED:  
7 BEDROOMS (MAX.) @ 110 GPD = 220 GPD REQUIRED

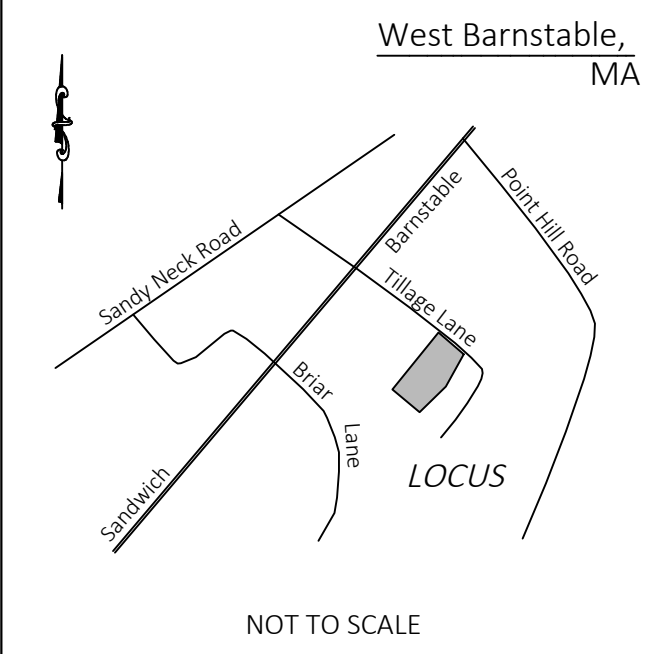
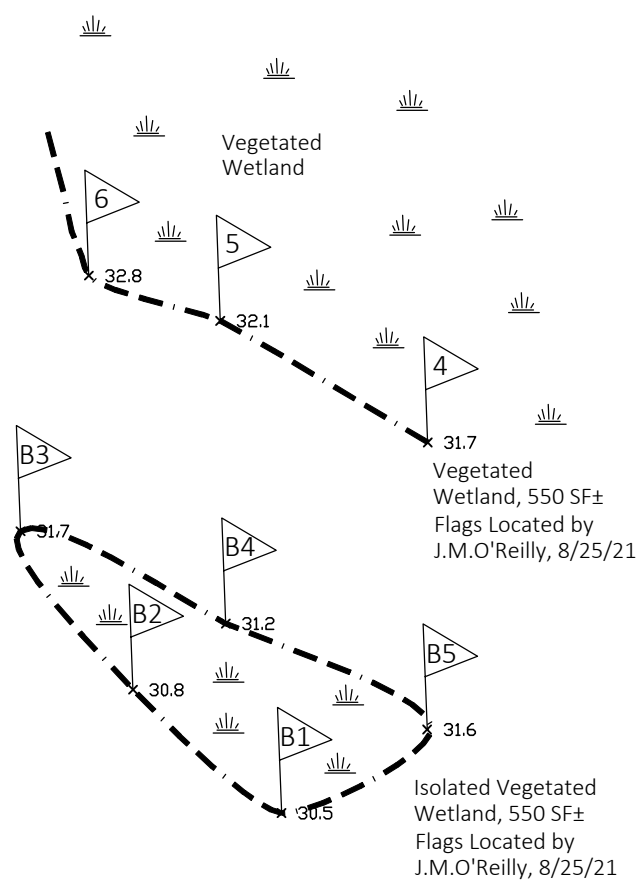
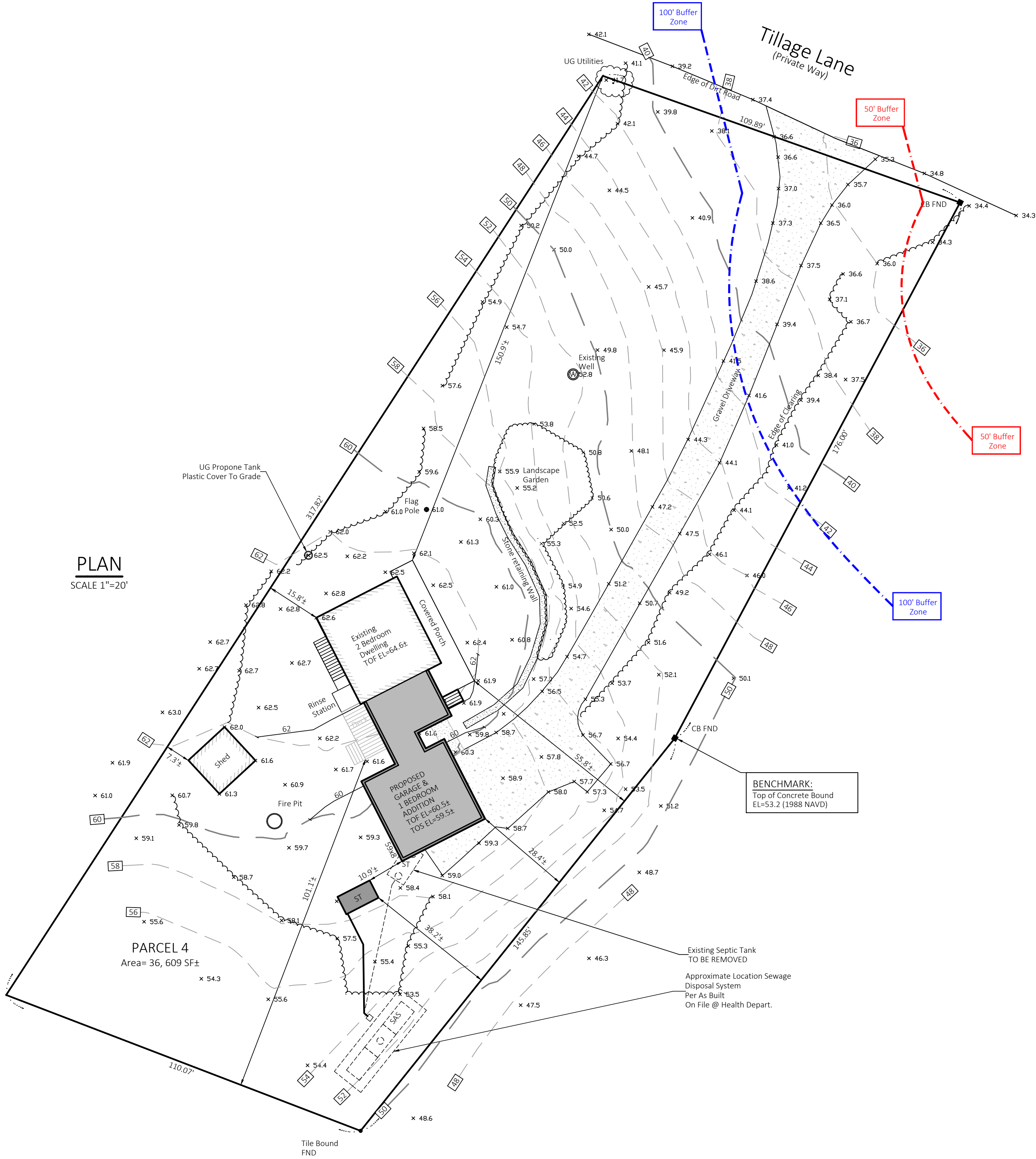
SEPTIC TANK CAPACITY REQUIRED:  
DAILY FLOW = 220 GPD @ 100% = 440 GAL. REQUIRED

SEPTIC TANK CAPACITY PROVIDED:  
1500 GALLON SEPTIC TANK (MIN. ALLOWED)

EXISTING LEACHING CAPACITY :  
ONE (1) 30" X 9.83' X 2.0' LEACHING CHAMBER CAN LEACH:  
VL=[(30.0 X 9.83) + (30.0 X 2.0)2 + (9.83 X 2.0)2] X 0.74 GPD/SF=336.12 GPD  
336 GPD>330 GPD REQUIRED

NOTE: A GARBAGE DISPOSAL IS NOT PERMITTED WITH THIS DESIGN.

INSTALL:  
ONE (1) - 1500 GALLON SEPTIC TANK



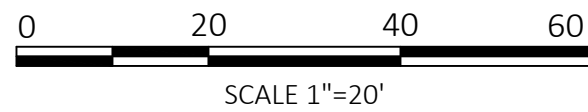
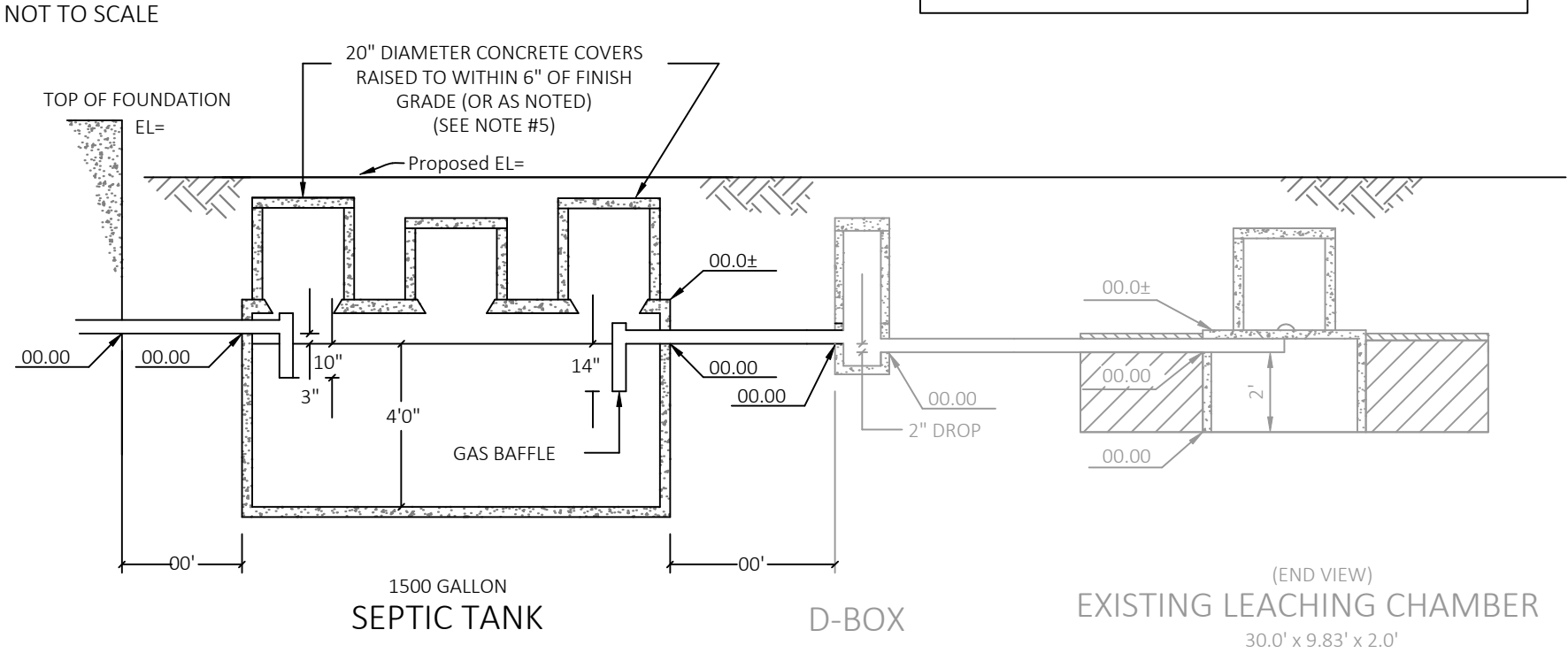
PLAN BOOK: NO PLAN FOR LOCUS  
DEED BOOK 32050  
ASSESSORS' MAP 136

PAGE 113  
PARCEL 4

LEGEND	
— 32	EXISTING CONTOUR
— 32	PROPOSED CONTOUR
X 12.34	EXISTING SPOT GRADE
24x5	PROPOSED SPOT GRADE
W	WATER SERVICE LINE
— O —	OVERHEAD UTILITY SERVICE
— U —	UNDERGROUND UTILITY SERVICE
— G —	GAS SERVICE LINE
⊙	TEST HOLE / BORING LOCATION
ST	SEPTIC TANK
DB	DISTRIBUTION BOX
SAS	SOIL ABSORPTION SYSTEM
Reserve	RESERVED FOR FUTURE
⊙	UTILITY POLE
⊙	CATCH BASIN
⊙	FIRE HYDRANT
⊙	WELL
⊙	DRAINAGE MANHOLE
⊙	CONCRETE BOUND, FOUND
⊙	TOP OF BANK
⊙	LIMIT OF WORK
⊙	FENCE
⊙	EDGE OF CLEARING

ZONING TABLE	
AP - AQUIFER PROTECTION OVERLAY	
RPD - RESOURCE PROTECTION OVERLAY	
RF - RESIDENTIAL DISTRICT	
REQUIREMENTS:	
LOT SIZE	43,560 SF
FRONT SETBACK	30 FEET
SIDE SETBACK	15 FEET
REAR SETBACK	15 FEET
BUILDING HEIGHT	30 FEET
FRONTAGE HEIGHT	125 FEET
HEIGHT	30 FEET
EXISTING LOT COVERAGE	
LOT AREA	36,609 SF
LOT COVERAGE:	
HOUSE & PORCH	1,041 SF
SHED	189 SF
TOTAL	1,230 SF
COVERAGE=(1,230/36,609)(X100%= 3.3%	
PROPOSED LOT COVERAGE	
LOT AREA	36,609 SF
LOT COVERAGE:	
HOUSE & PORCH	1,023 SF
SHED	189 SF
ADDITION	1,086 SF
TOTAL	2,298 SF
COVERAGE=(2,298/36,609)(X100%= 6.3%	

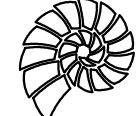
FLOW PROFILE:



G:\AA\jobs\Reef19Tillage\Reef19TillagePROPOSED.dwg

Antonicelli & Murphy Residence  
c/o Jim Hagerty, Reef, Cape Cods Home Builder, PO Box 186, West Dennis, MA 02670

PROPOSED SITE PLAN  
19 Tillage Lane, West Barnstable, MA

**J.M. O'REILLY & ASSOCIATES, INC.**  
Professional Engineering & Land Surveying Services

1573 Main Street - Route 6A  
P.O. Box 1773  
Brewster, MA 02631 (508)896-6602 Fax

(508)896-6601 Office

DATE: 2/15/22

SCALE: As Noted

BY: MTF

CHECK: JMO

JOB NUMBER: JMO-9157









3.21.2018



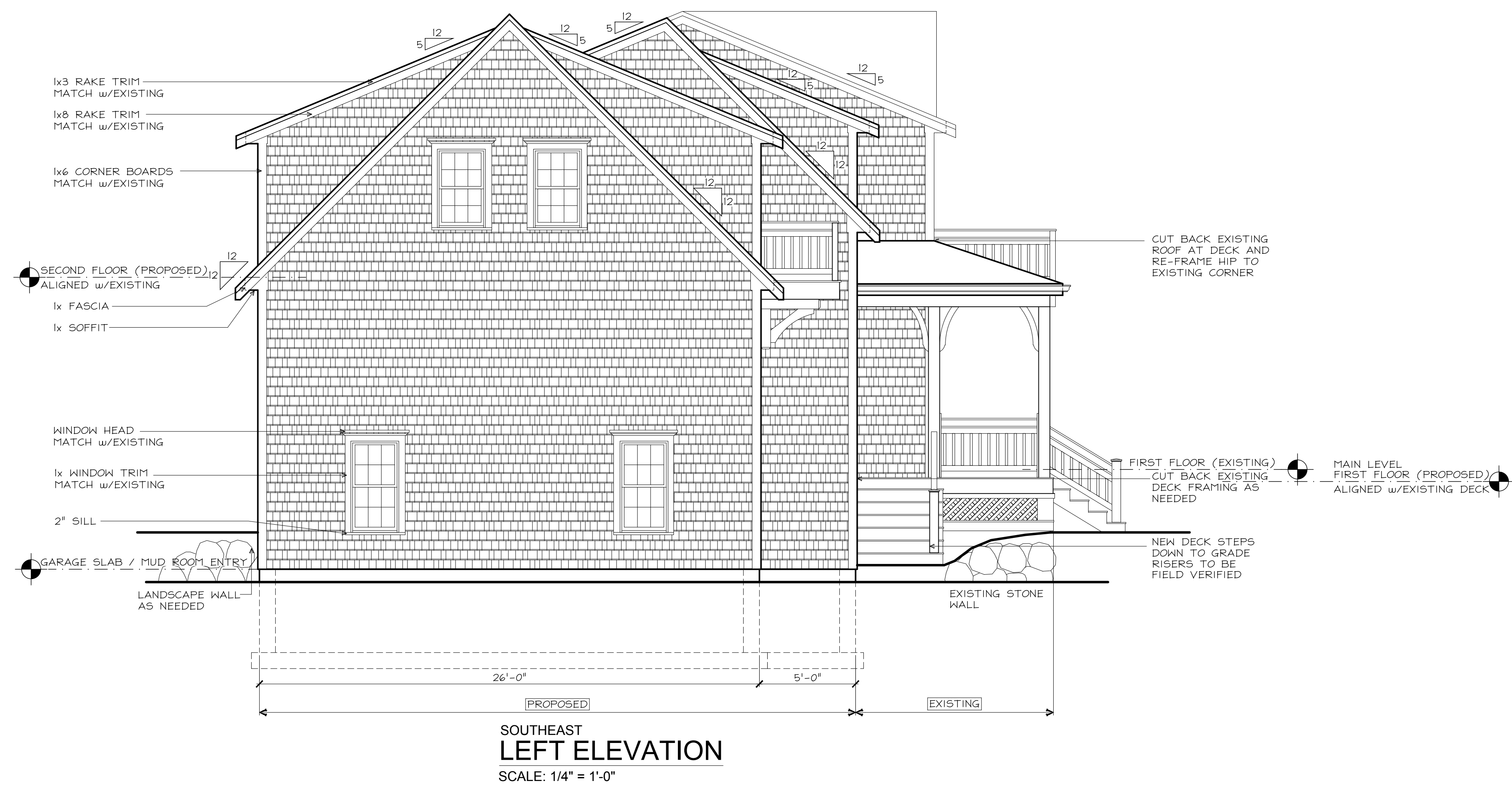
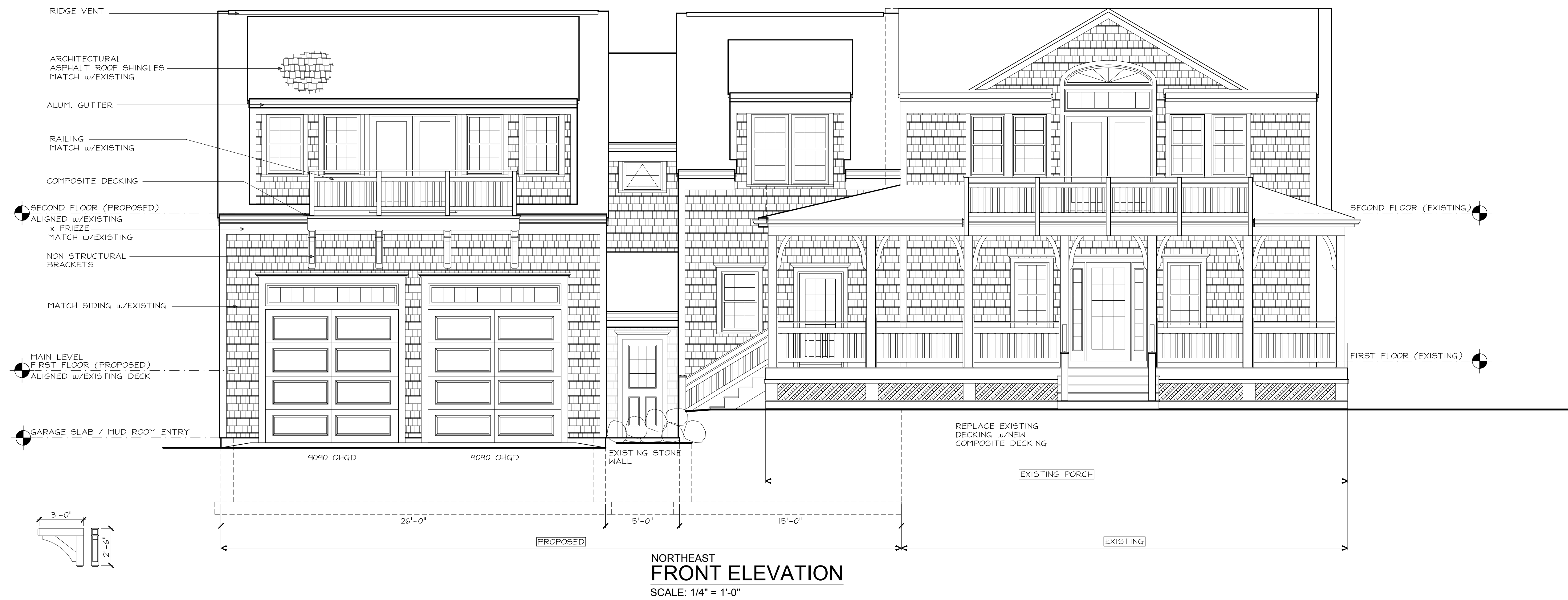








Proposed Addition  
**Antoncelli & Murphy Residence**  
19 Tillage Lane  
West Barnstable, Massachusetts



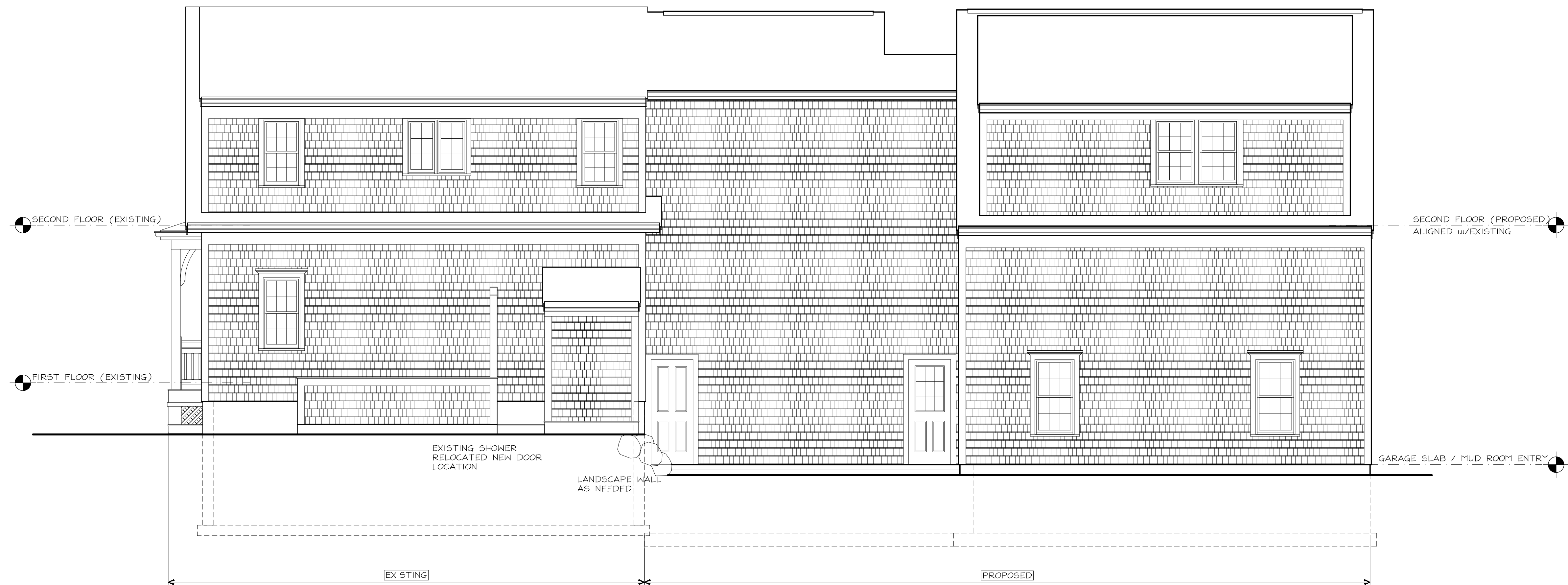
Date: January 14, 2022

ISSUE/REVISIONS	
DATE	DESCRIPTION
11/2/2022	Label Elevations
#	BY

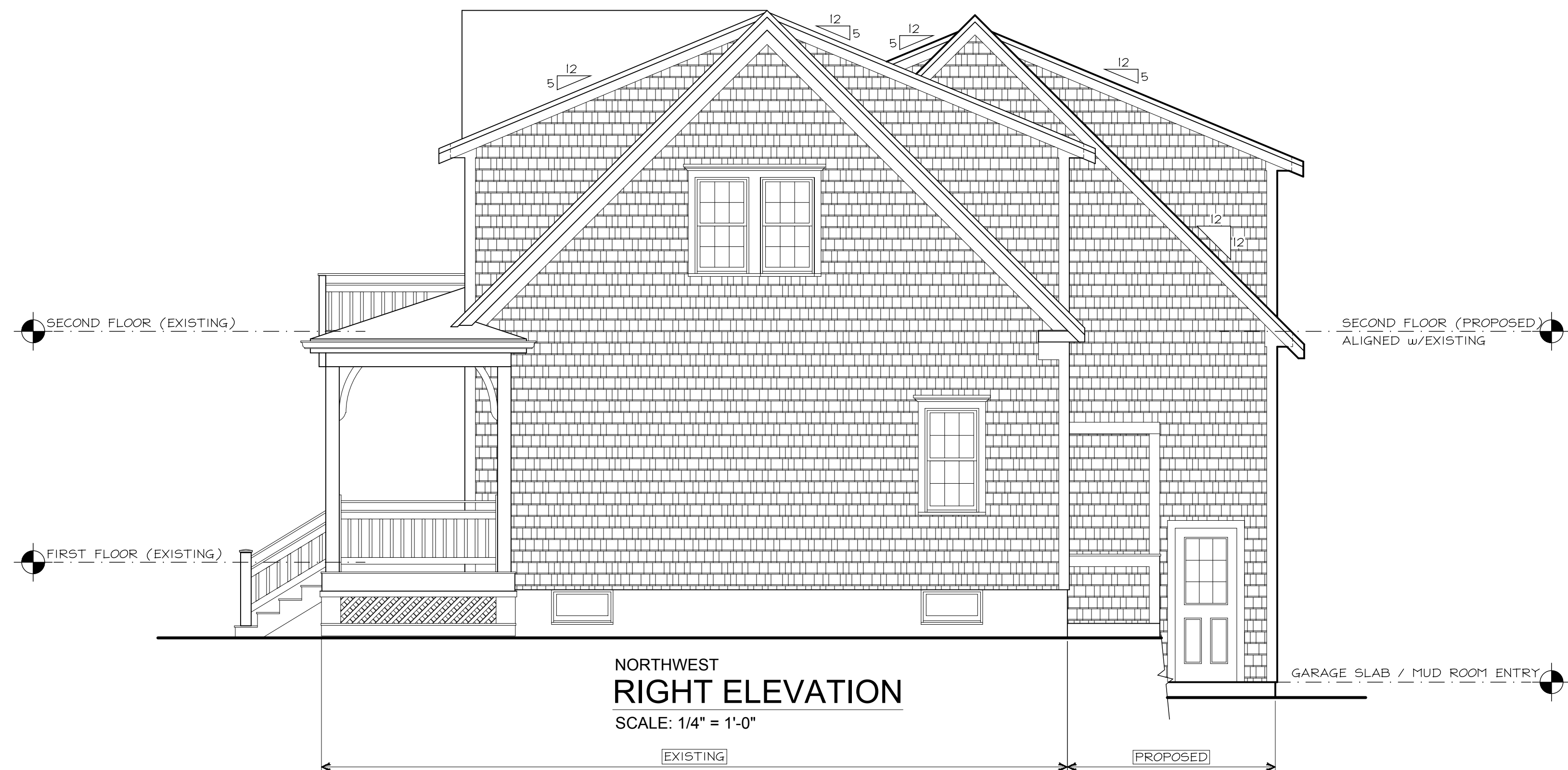
EXTERIOR  
ELEVATIONS

A1.1





SOUTHWEST  
**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



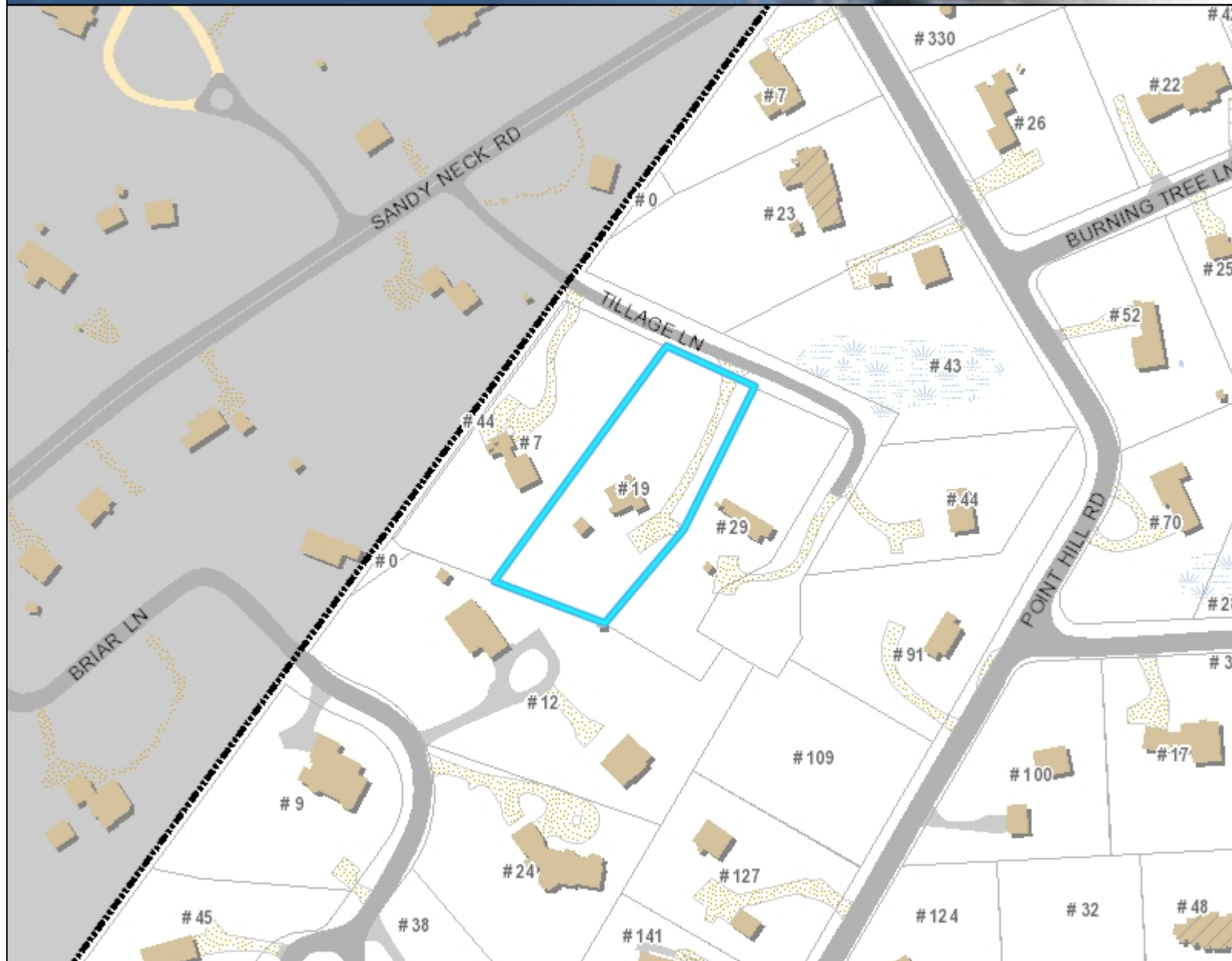
NORTHWEST  
**RIGHT ELEVATION**  
SCALE: 1/4" = 1'-0"

Date: January 14, 2022	ISSUE / REVISIONS		DESCRIPTION	
	BY	DATE		
	#			

EXTERIOR  
ELEVATIONS

**A1.2**



**Legend**

- Parcels
- Town Boundary
- + Railroad Tracks
- Buildings
  - Approx. Building
  - Buildings
- Painted Lines
- Parking Lots
  - Paved
  - Unpaved
- Driveways
  - Paved
  - Unpaved
- Roads
  - Paved Road
  - Unpaved Road
- Bridge
- Paved Median
- Streams
- Marsh
- Water Bodies

Map printed on: 3/3/2022

0 167 333 Feet

Approx. Scale: 1 inch = 167 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.

**Town of Barnstable GIS Unit**

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us





Map printed on: 3/3/2022

0 83 167 Feet

Approx. Scale: 1 inch = 83 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



Property ID: 136003

PHIPPS. ANITA L & ESTATE OF WILLIAM L  
PHIPPS. BRADLEY W & BETSY J  
2313 WASHINGTON ST  
HOLLISTON. MA 01746

Property ID: 136004

ANTONICELLI. ARLENE R & MURPHY.  
PO BOX 789  
WEST BARNSTABLE. MA 02668

Property ID: 136005

PEARSON. SCOTT A & SUSAN K  
7 SOUTH BARN RD  
HOPKINTON. MA 01748

Property ID: 136017

RAGGIO. ANTHONY D & MY-LE  
23 POINT HILL ROAD  
WEST BARNSTABLE. MA 02668

Property ID: 136018

BBD GRIFFIN AVE LLC  
99 CRESCENT AVENUE  
CHELSEA. MA 02150

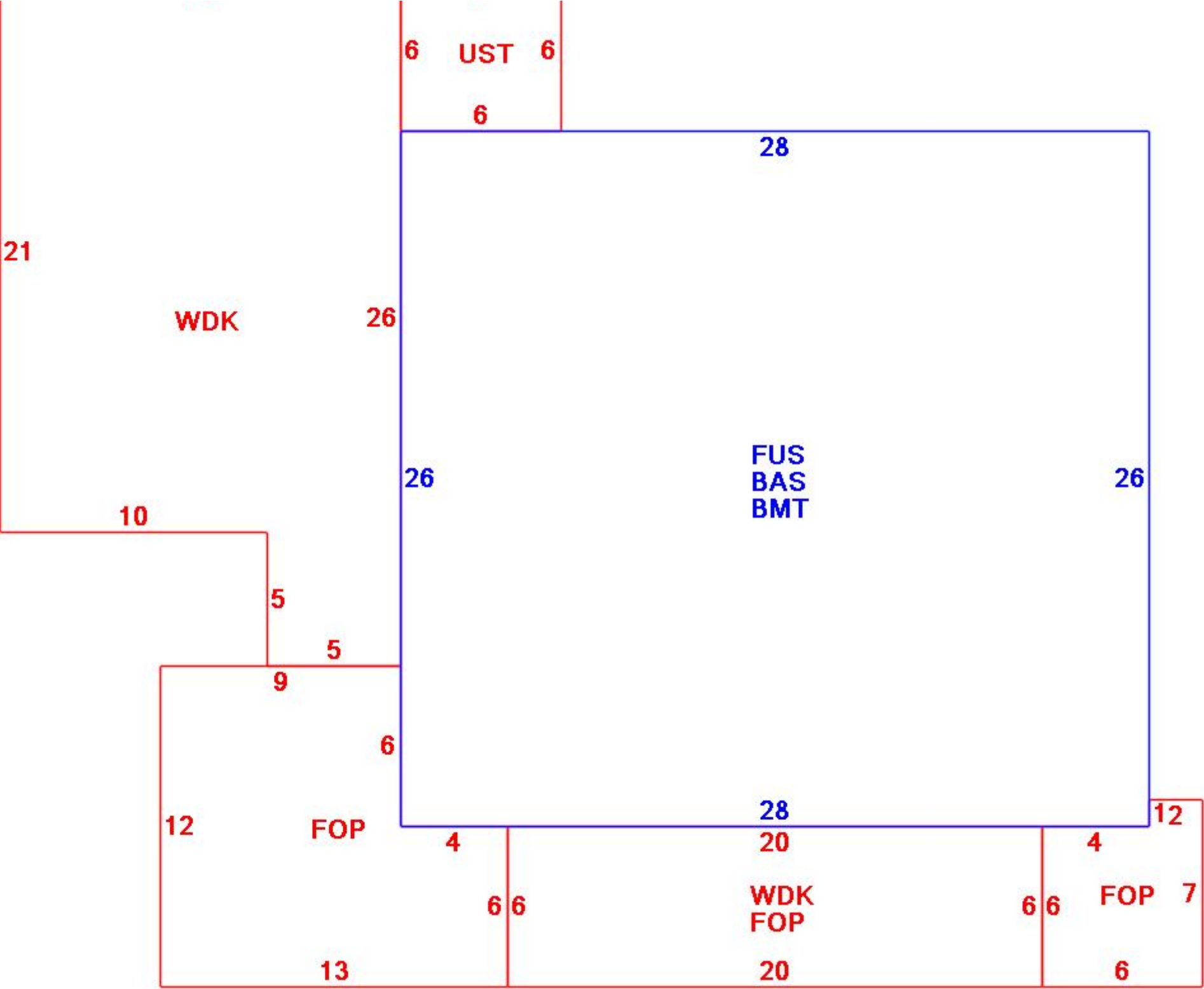
Property ID: 136054001

BESS. JOEL F  
12 BRIAR LN  
WEST BARNSTABLE. MA 02668









▼ Permit History

Issue Date	Purpose	Permit Number	Amount	InspectionDate	Comments
12/01/2021	Sid/Wind/Roof/Door	EXPR-21-1821	\$3,971		remove roof shingles in storm-damaged section, replace with CertainTeed Landmark architectural shingles like for like
02/16/2018	Deck	18-445	\$25,000	03/21/2018	Remove a 5x21 section of deck and enlarge it to 12x21 NOTE: Railing must meet today's code. RMCK
06/03/2008	Remodel	200802846	\$12,000	08/19/2008	BFA 600 S.F.-LNDRY, 1/2BTH, FAMRM, COMPUTER RM
09/01/2005	Dwelling	86611	\$200,000	06/29/2007	NEW DW

▼ Sale History

Line	Sale Date	Owner	Book/Page	Sale Price
1	05/29/2019	ANTONICELLI, ARLENE R & MURPHY, SHARON K	32050/0113	\$785,000
2	07/13/2017	CAHILL, JAMES J & MARY C, TRS	30626/0131	\$1
3	03/17/2011	CAHILL, JAMES J & MARY C	25323/0185	\$675,000
4	01/30/2003	BESS, JOEL F & KATY M	16321/0057	\$150,000
5	12/04/1997	QUADRINO, GEORGE A TR	11098/0313	\$1
6	12/15/1990	GRAHAM, MARGARET ROURKE	7375/0088	\$1
7	02/15/1990	STATE STREET BANK & TRUST	7062/0241	\$1
8	12/15/1987	STATE STREET BANK & TRUST & ROURKE, G MA	6070/0163	\$1
9	07/30/1971	ROURKE, G MARGARET	1521/0389	\$0



Assessment History

Save #	Year	Building Value	XF Value	OB Value	Land Value	Total Parcel Value
1	2022	\$366,500	\$51,800	\$10,100	\$358,000	\$786,400
2	2021	\$307,100	\$52,500	\$10,100	\$381,800	\$751,500
3	2020	\$310,900	\$53,700	\$8,700	\$317,700	\$691,000
4	2019	\$269,600	\$53,700	\$9,100	\$317,700	\$650,100
5	2018	\$226,600	\$54,400	\$6,500	\$347,800	\$635,300
6	2017	\$210,500	\$54,600	\$6,400	\$361,200	\$632,700
7	2016	\$210,500	\$54,600	\$6,400	\$370,200	\$641,700
8	2015	\$195,700	\$51,600	\$10,700	\$346,000	\$604,000
9	2014	\$195,700	\$51,600	\$11,000	\$346,000	\$604,300
10	2013	\$195,700	\$51,600	\$11,200	\$346,000	\$604,500
11	2012	\$157,100	\$39,500	\$7,800	\$162,800	\$367,200
12	2011	\$192,600	\$10,600	\$3,100	\$162,800	\$369,100
13	2010	\$192,000	\$9,000	\$3,300	\$165,400	\$369,700
14	2009	\$182,500	\$0	\$1,500	\$201,700	\$385,700
15	2008	\$125,300	\$0	\$0	\$215,900	\$341,200
17	2007	\$0	\$0	\$12,500	\$215,900	\$228,400
18	2006	\$0	\$0	\$0	\$193,100	\$193,100
19	2005	\$0	\$0	\$0	\$159,000	\$159,000
20	2004	\$0	\$0	\$0	\$172,800	\$172,800
21	2003	\$0	\$0	\$0	\$141,400	\$141,400
22	2002	\$0	\$0	\$0	\$141,400	\$141,400
23	2001	\$0	\$0	\$0	\$141,400	\$141,400
24	2000	\$0	\$0	\$0	\$62,300	\$62,300
25	1999	\$0	\$0	\$0	\$62,300	\$62,300
26	1998	\$0	\$0	\$0	\$62,300	\$62,300
27	1997	\$0	\$0	\$0	\$45,400	\$45,400
28	1996	\$0	\$0	\$0	\$45,400	\$45,400
29	1995	\$0	\$0	\$0	\$45,400	\$45,400
30	1994	\$0	\$0	\$0	\$45,400	\$45,400
31	1993	\$0	\$0	\$0	\$45,400	\$45,400
32	1992	\$0	\$0	\$0	\$50,400	\$50,400
33	1991	\$0	\$0	\$0	\$100,800	\$100,800
34	1990	\$0	\$0	\$0	\$100,800	\$100,800
35	1989	\$0	\$0	\$0	\$100,800	\$100,800
36	1988	\$0	\$0	\$0	\$42,900	\$42,900
37	1987	\$0	\$0	\$0	\$42,900	\$42,900
38	1986	\$0	\$0	\$0	\$42,900	\$42,900

Photos

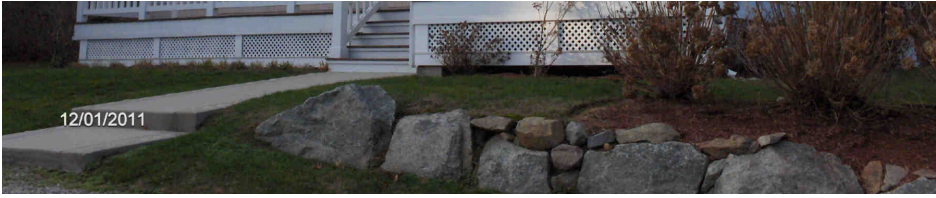
















**Town of Barnstable**  
**Old King's Highway Historic District Committee**  
200 Main Street, Hyannis, Massachusetts 02601  
Telephone (508) 862-4787, Email [grayce.rogers@town.barnstable.ma.us](mailto:grayce.rogers@town.barnstable.ma.us)



**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

Application is hereby made, with six (6) complete, colored sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Date 2 / 15 / 22

Map & Parcel 299 035

Property Owner KEITH & MARGARET  
MAKENZIE-BETTY

Phone 508 367 5900

Street address 3280 MAIN ST

Email KIMBETTY@VERIZON.NET

Village BARNSTABLE

Mailing address 3286 MAIN ST, BARNSTABLE, MA 02630

Signature [Handwritten Signature]

Agent/Contractor \_\_\_\_\_

Phone \_\_\_\_\_

Agent Address \_\_\_\_\_

Email \_\_\_\_\_

Agent Signature \_\_\_\_\_

If approved, the Certificate of Appropriateness expires one year from the stamped approval date or upon the expiration of a Building Permit, whichever date shall be later. A one year extension may be requested, in writing, to the Old King's Highway Administrative Assistant at 200 Main Street, Hyannis, MA 02601. This request must be received prior to the date of expiration.

There is a 10 day appeal period plus a four day waiting period for all applications after which time your approval paperwork will be available for pickup and building permit sign-off. All applications are subject to meeting any applicable building code requirements.

Building Construction	<input checked="" type="checkbox"/> New Build	<input type="checkbox"/> Addition	Check all categories that apply		<input type="checkbox"/> Residential	<input type="checkbox"/> Commercial
Type of Building	<input type="checkbox"/> House	<input type="checkbox"/> Garage	<input type="checkbox"/> Barn	<input checked="" type="checkbox"/> Shed	<input type="checkbox"/> Other	
Project	<input type="checkbox"/> Roof	<input type="checkbox"/> Windows/Doors	<input type="checkbox"/> Siding/Painting	<input type="checkbox"/> Solar	<input type="checkbox"/> Other	
Landscape Feature	<input type="checkbox"/> Fence	<input type="checkbox"/> Wall	<input type="checkbox"/> Flag Pole	<input type="checkbox"/> Pool	<input type="checkbox"/> Other	
Signs	<input type="checkbox"/> New Sign	<input type="checkbox"/> Replace Sign	<input type="checkbox"/> Repaint Sign	<input type="checkbox"/> Other		

Description of Proposed Work NEW SHED TO REPLACE EXISTING SMALL SHED  
& TEMPORARY CAR PORT TENT.

**DENIED**

	for Committee use only		This Certificate is hereby		<b>APPROVED</b>	
	By a vote of		Aye		Nay	
			Abstain		Date	
	Members signatures					
Conditions of Approval						



# CERTIFICATE OF APPROPRIATENESS – SPEC SHEET

**CHIMNEY** Material  Color

**ROOF** Make & style ASPHALT Color BROWN/ CEDAR

Roof Pitch (s) – (7/12 minimum) 12/12

*(specify on plans for new building & major additions)*

**GUTTER** Type/Material  Color

## WINDOWS, DOORS, TRIM, SHUTTERS, SKYLIGHTS

Window/Door Trim material Wood PINE Other specify

Size of cornerboards 4x4 Size of casings (1x4 min) 1x4 Color NATURAL

Rakes 1<sup>st</sup> member 1x3 2<sup>nd</sup> Member 1x6 Depth of overhang 2"

**Windows:** Make/Model  Material  Color

Window Grills Divided Light ☐ Exterior Glued Grills ☐ Grills Between Glass ☐

Removable Interior Grills ☐ No Grills ☐ Grill Pattern

**Doors:** Style & Make 6 PANEL Material WOOD Color WHITE

Garage doors: Style OVERHEAD Size of opening 8' X 8' Material WOOD

Color WHITE

**Shutters:** Type & Style  Material  Color

**Skylights:** Type  Make & Model

Material  Size  Color

**SIDING** Type Clapboard ☐ Shingle ☐ Other ☐ SH (PLAP

Material Red Cedar ☐ White Cedar ☐ Other ☒ PINE

Paint Color NATURAL

**FOUNDATION** Type BLOCK ABOVE GROUND *(max 12' exposed)*

**DECK** Material  Color

**SIGNS** Size  Materials  Color

**FENCE** Type (split rail, chain link) Color

Material  Length

**RETAINING WALL** Description

**LIGHTING** Type and location (free standing affixed to structure, illuminated)



## CHECKLIST – CERTIFICATE OF APPROPRIATENESS

*Please complete the Checklist that is applicable to your project.*

*Submit six (6) complete colored sets, unless otherwise noted*

### FEES

- .... **Filing Fee** according to fee schedule, please make checks payable to the Town of Barnstable
- .... **Legal Ad fee**, in the amount of \$19.84, made payable to the Town of Barnstable
- .... **First Class Postage Stamps** for abutter notification. Please contact Barnstable Old King's Highway Office for correct count

### ALTERATIONS *(new paint color, change of siding material, roofing, windows, doors, shutters, etc)*

- .... **Application for Certificate of Appropriateness**
- .... **Spec Sheet**, brochures and color samples
- .... **Plans of building elevations/photographs**, ONLY if there is a change to the location and size of the window (s) or Door (s).

### MINOR ADDITIONS *(decks, enclosing a porch, sheds (over 120 sqft)*

- .... **Application for Certificate of Appropriateness**
- .... **Spec Sheet**, brochures and color samples
- .... **Site Plan**, ONLY if there are changes to the footprint *(see site plan criteria below)*
  - A site plan drawn on a mortgage survey plan or GIS map may be used for minor additions, UNLESS the porch, deck, pool, or Shed etc. is close to lot lines, zoning setback lines, or other buildings, in which case a certified site plan must be submitted
- .... **Photographs** of all building elevation affected by any proposed alterations
- .... **Plans** 2 full scale plans, plus 4 copies of the plan at reduced scale to fit 8.5x11 or 11x17 paper
- .... **Company brochure** of manufacturers shed or to-scale sketch or affected structure or building elevations

### ASSESSORY STRUCTURES, NEW/ALTERED *(fences, new stonewalls, changes to retaining walls, pools etc)*

- .... **Application for Certificate of Appropriateness**
- .... **Spec Sheet**, brochures &/or diagram
- .... **Site Plan** *(see site plan criteria below)*
- .... **Photographs** of any existing structure that will be affected by the change

### SIGNS *(complete sign supplement)*

- .... **Rendering** of the proposed sign, showing graphics, dimensions, design and height of post, color, and materials
- .... **Site Plan** on GIS map or mortgage survey, or photographs, or to-scale sketch of building elevation showing location of Proposed sign; and any tree to be removed near a freestanding sign *(see below for site plan criteria)*

### SOLAR PANELS *(complete solar panel supplement)*

- .... **Drawing** of locations of panels on house showing roof and panel dimensions
- .... **Site Plan** showing location of building on property *(see site plan criteria below)*

### SITE PLAN CRITERIA

- .... Name of applicant, street location, map and parcel
- .... Name of architect, engineer, or surveyor; original stamp & signature; date of plan & revision dates
- .... North arrow, written and drawn to scale
- .... Changes to existing grades shown with one-foot contours
- .... Proposed & existing footprint of building and/or structures, and distance to lot lines
- .... Proposed driveway location
- .... Proposed limits of clearing for building (s), assessor structure (s), driveway and septic system
- .... Retaining walls or accessory structures (e.g. pool, tennis court, cabana, barn, garage, etc)



# NEW BUILDINGS, ADDITION, OR COMMERCIAL BUILDING CHECKLIST – CERTIFICATE OF APPROPRIATENESS

*Submit Six (6) complete colored sets, unless otherwise noted*

**Application for Certificate of Appropriateness**

**Spec Sheet**, brochures or diagram

**Site Plan**

- Name of applicant, street location, map and parcel
- Name of architect, engineer, or surveyor; original stamp & signature; date of plan & revision dates
- North arrow, written and drawn to scale
- Changes to existing grades shown with one-foot contours
- Proposed & existing footprint of building and/or structures, and distance to lot lines
- Proposed driveway location
- Proposed limits of clearing for building (s), assessor structure (s), driveway and septic system
- Retaining walls or accessory structures (e.g. pool, tennis court, cabana, barn, garage, etc)

**Building Elevations**

- Plans at scale of  $\frac{1}{4}$ " = 1 foot; a written drawn scale
- Plans at a reduced scale to fit 8.5"x11 or 11"x17 paper
- Name of applicant, street location, map and parcel
- Name of Building Designer, or architect; original signature of plan preparer and stamp; plan date, and all revision dates.  
*\*All new house or commercial building plans must have an original signature and stamp, if any, by a registered Architect, member of AIBD, or a licensed Massachusetts Home Improvement Contractor, unless this requirement is waived by the Old King's Highway Historic District Committee.*
- A written and bar drawn scale
- Elevations of all (affected) sides of the building, with dimensions including height from the natural grade adjacent to the Building to the top of the ridge; location and elevation of finished grade, roof pitch (s) dormer setbacks; trim style, window And door styles. Changes to existing building must be clouded on drawings.
- Window schedule on plans

**Landscape Plan** (drawn on a certified perimeter plan containing the following)

- Name of applicant, street address, assessor's map and parcel number
- Name, address, and telephone number of the plan preparer, plan date, & date of revisions
- The location of existing and proposed buildings and structures, and lot lines
- Natural features of site (i.e. rock outcroppings, streams, wetlands, etc)
- Existing buffer areas to remain
- Location and species of trees and plants
- Driveway, parking areas, walkways, and patios, indicating materials to be used
- Existing stone walls, and proposed walls including retaining walls for slope retention or septic systems  
*For removal of stone walls, you must file a demolition application*
- All proposed exterior lighting and signs

**Sketch or Photos of adjacent properties**

- A sketch (s) to scale or photographs of nearby adjacent buildings, where present, along both sides of the street frontage, Showing the proposed new house or commercial building in scale and in relationship to the existing buildings.  
*Please discuss with staff if you do not think this is relevant to your application.*

**Photographs of all sides of existing buildings to remain or being added to**

**Existing building, foot print**

Building 1 (sq. ft.) \_\_\_\_\_ Building 2 (sq. ft.) \_\_\_\_\_

**Existing building, gross floor area, including area of finished basement**

Building 1 (sq. ft.) \_\_\_\_\_ Building 2 (sq. ft.) \_\_\_\_\_

**New Building or addition, foot print**

Building 1 (sq. ft.) 288 Building 2 (sq. ft.) \_\_\_\_\_

**New Building or addition, gross floor area, including area of finished basement**

Building 1 (sq. ft.) \_\_\_\_\_ Building 2 (sq. ft.) \_\_\_\_\_

Plan preparer, signature and date

K. W. B. 2/15/22



GENERAL NOTES:

ENGINEER:


REV. NOTES. DATE

REVISIONS:

SCALE: NTS

DATE: 02.11.22

PROJECT:  
PROPOSED  
PROPOSED SHED

LOCATION:  
3280, MAIN ST,  
BARNSTABLE, MA  
02630

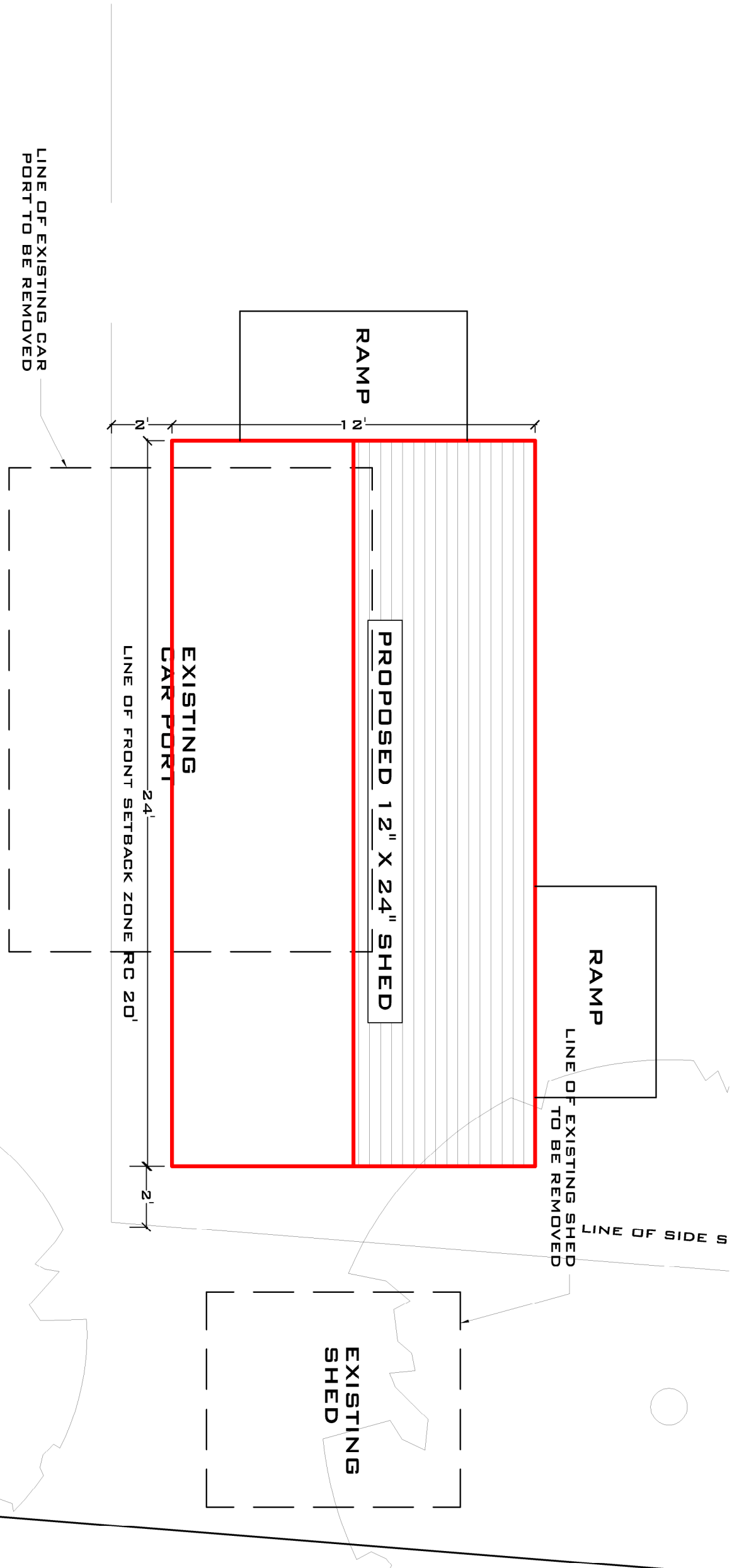
DWG. TITLE:  
PROPOSED SHED

PROJECT NO. HOME

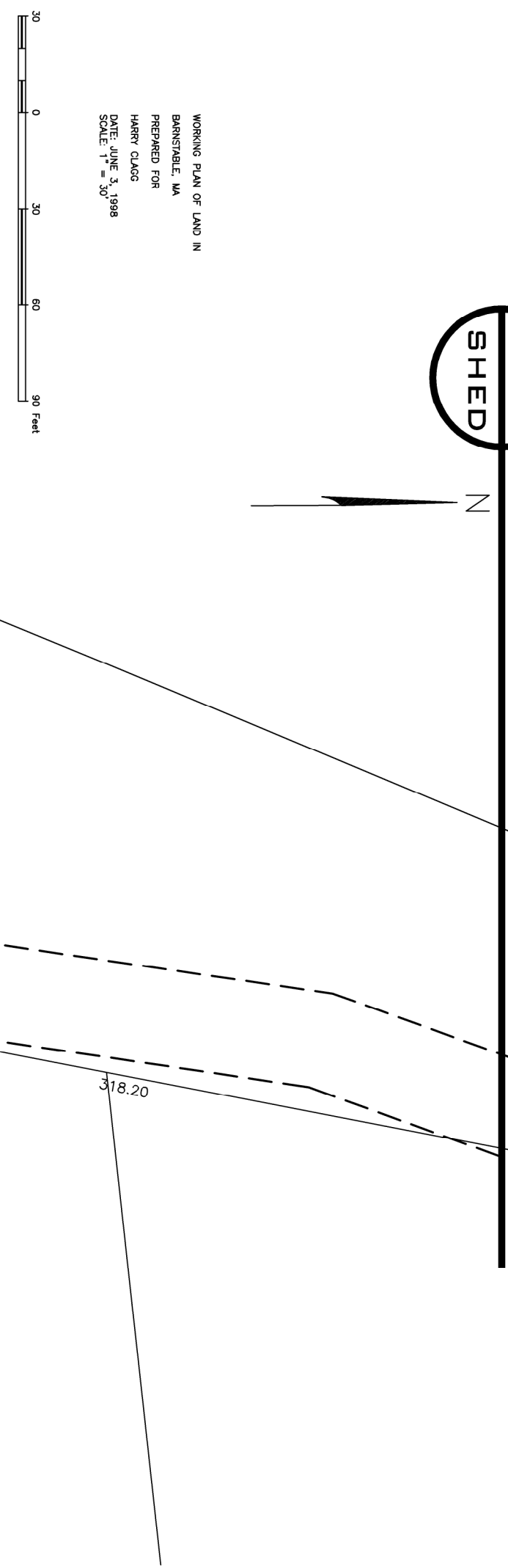
DWG. NO.

SHED

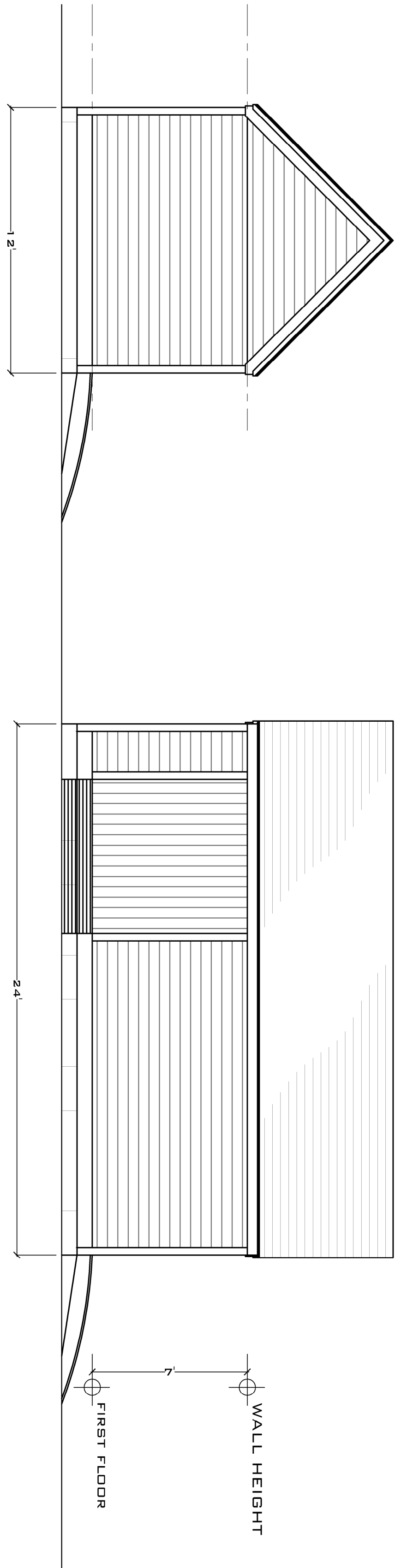
COPYRIGHT  
CAPE ARCHITECTURE EXPRESSLY  
RESERVES ITS COMMON LAW  
COPYRIGHT  
THESE PLANS ARE NOT TO BE  
REPRODUCED OR COPIED IN ANY  
FORM WITHOUT FIRST OBTAINING  
THE WRITTEN CONSENT OF CAPE  
ARCHITECTURE



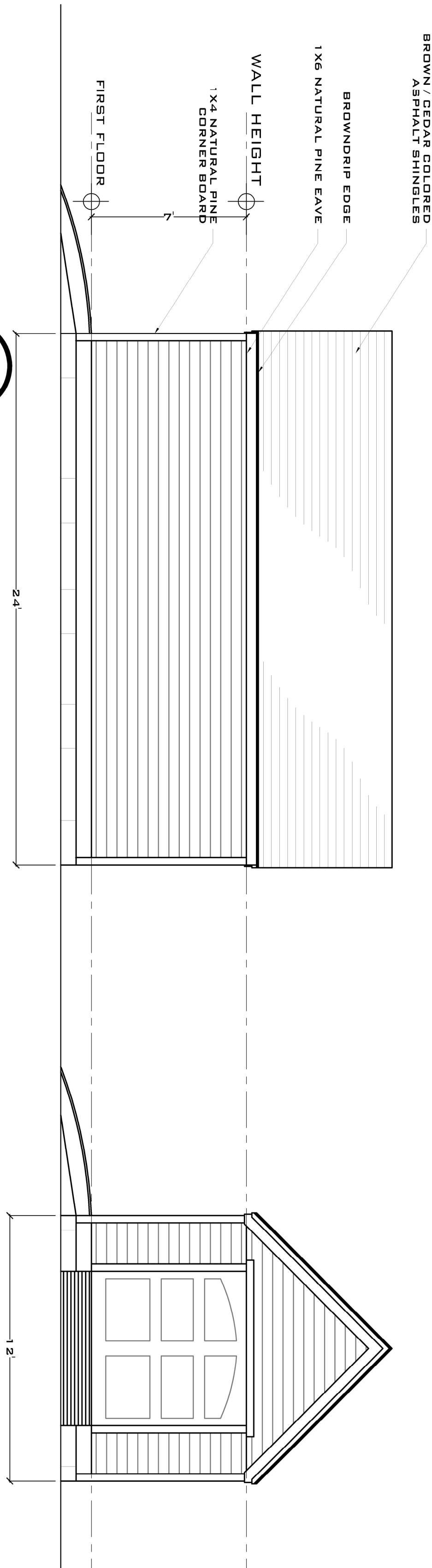
3  
SHED  
PROPOSED LOCATION PLAN  $\frac{1}{16}" = 1 \text{ FT.}$



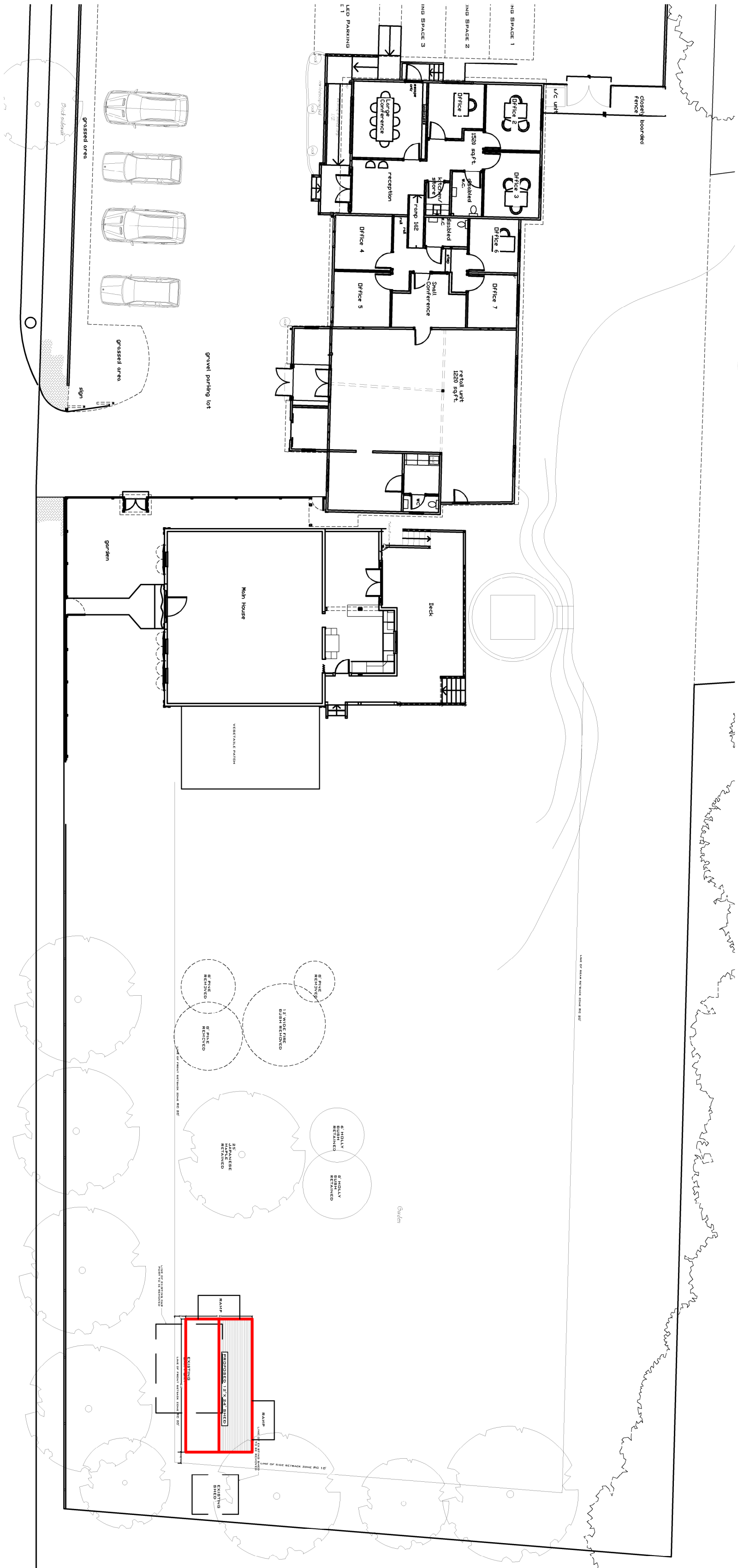
2  
SHED  
PROPOSED NORTH & REAR ELEVATIONS -  $\frac{1}{4}" = 1 \text{ FT.}$



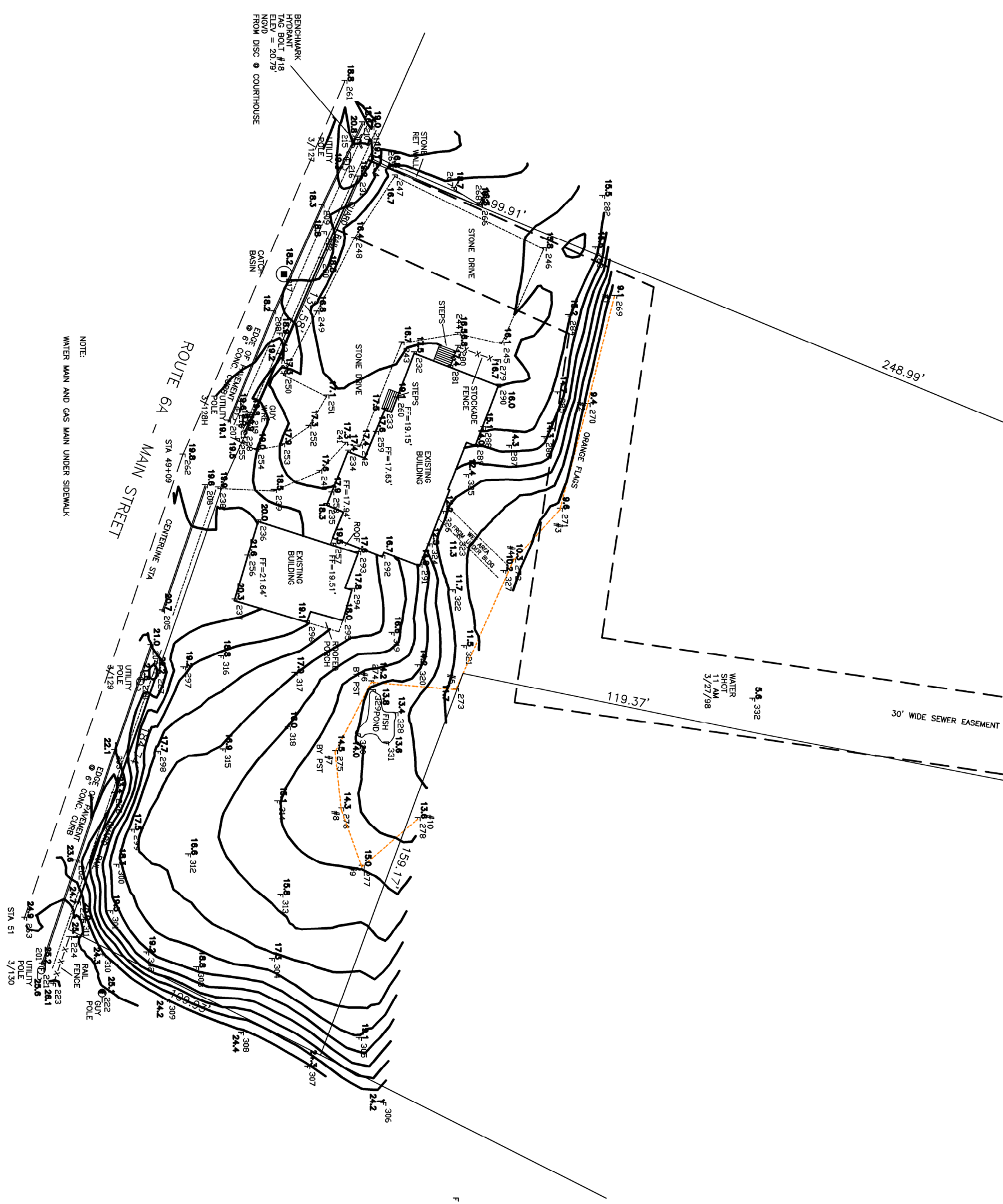
1  
SHED  
PROPOSED SOUTH & FRONT ELEVATIONS -  $\frac{1}{4}" = 1 \text{ FT.}$



3  
SHED  
PROPOSED LOCATION PLAN  $\frac{1}{16}" = 1 \text{ FT.}$



4  
SHED  
EXISTING SITE SURVEY - 2.5 AC.





# Massachusetts Cultural Resource Information System

## Scanned Record Cover Page

<b>Inventory No:</b>	BRN.88
<b>Historic Name:</b>	Doane, Hezekiah - Foster, Heman House
<b>Common Name:</b>	
<b>Address:</b>	3284 Main St Rt 6A
<b>City/Town:</b>	Barnstable
<b>Village/Neighborhood:</b>	Barnstable Village;
<b>Local No:</b>	97;
<b>Year Constructed:</b>	C 1834
<b>Architectural Style(s):</b>	Greek Revival;
<b>Use(s):</b>	Shop Other; Single Family Dwelling House;
<b>Significance:</b>	Architecture;
<b>Area(s):</b>	BRN.M, BRN.S
<b>Designation(s):</b>	Local Historic District (05/01/1973); Nat'l Register MRA (03/13/1987); Nat'l Register District (03/13/1987);
<b>Building Materials:</b>	Wall: Glass; Wood; Wood Clapboard; Wood Shingle;
<b>Demolished</b>	No



The Massachusetts Historical Commission (MHC) has converted this paper record to digital format as part of ongoing projects to scan records of the Inventory of Historic Assets of the Commonwealth and National Register of Historic Places nominations for Massachusetts. Efforts are ongoing and not all inventory or National Register records related to this resource may be available in digital format at this time.

The MACRIS database and scanned files are highly dynamic; new information is added daily and both database records and related scanned files may be updated as new information is incorporated into MHC files. Users should note that there may be a considerable lag time between the receipt of new or updated records by MHC and the appearance of related information in MACRIS. Users should also note that not all source materials for the MACRIS database are made available as scanned images. Users may consult the records, files and maps available in MHC's public research area at its offices at the State Archives Building, 220 Morrissey Boulevard, Boston, open M-F, 9-5.

Users of this digital material acknowledge that they have read and understood the MACRIS Information and Disclaimer (<http://mhc-macris.net/macrisdisclaimer.htm>)

Data available via the MACRIS web interface, and associated scanned files are for information purposes only. THE ACT OF CHECKING THIS DATABASE AND ASSOCIATED SCANNED FILES DOES NOT SUBSTITUTE FOR COMPLIANCE WITH APPLICABLE LOCAL, STATE OR FEDERAL LAWS AND REGULATIONS. IF YOU ARE REPRESENTING A DEVELOPER AND/OR A PROPOSED PROJECT THAT WILL REQUIRE A PERMIT, LICENSE OR FUNDING FROM ANY STATE OR FEDERAL AGENCY YOU MUST SUBMIT A PROJECT NOTIFICATION FORM TO MHC FOR MHC'S REVIEW AND COMMENT. You can obtain a copy of a PNF through the MHC web site ([www.sec.state.ma.us/mhc](http://www.sec.state.ma.us/mhc)) under the subject heading "MHC Forms."

Commonwealth of Massachusetts  
Massachusetts Historical Commission  
220 Morrissey Boulevard, Boston, Massachusetts 02125  
[www.sec.state.ma.us/mhc](http://www.sec.state.ma.us/mhc)

This file was accessed on: Thursday, March 3, 2022 at 11:29 AM



# FORM B - BUILDING

MASSACHUSETTS HISTORICAL COMMISSION  
Office of the Secretary, State House, Boston

LAD-5/1/73 BEN 88 MRA-D-3/13/87

In Area no. M.S. NO BV D	Form no. 97 88
--------------------------------	-------------------

Pl-Barn Vill

1. Town Barnstable (Village Center)

#3284

Address Main St (Rte 6A), Barnstable

Heman Foster House

Name Hezekiah Doane House

Present use residence

Present owner Charles F. Clagg

Description:

Date prior to 1834

Source Probate - Barnstable County

Style Victorian (Greek Revival)

Architect

Exterior wall fabric wood clapboard on main

house, shingles on rear

Outbuildings (describe) Cancer Thrift Shop,

Kitchen Cabinet Shop

Other features 2 separated central

chimneys

additions,

Altered roof changed Date c.1846

Moved \_\_\_\_\_ Date \_\_\_\_\_

5. Lot size:

One acre or less \_\_\_\_\_ Over one acre 2.18

Approximate frontage 322 ft.

Approximate distance of building from street

35 ft.

6. Recorded by Marilyn E. Strauss

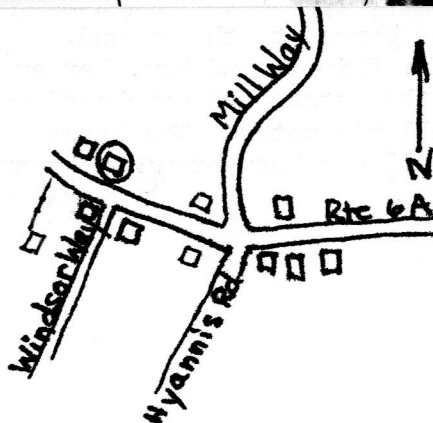
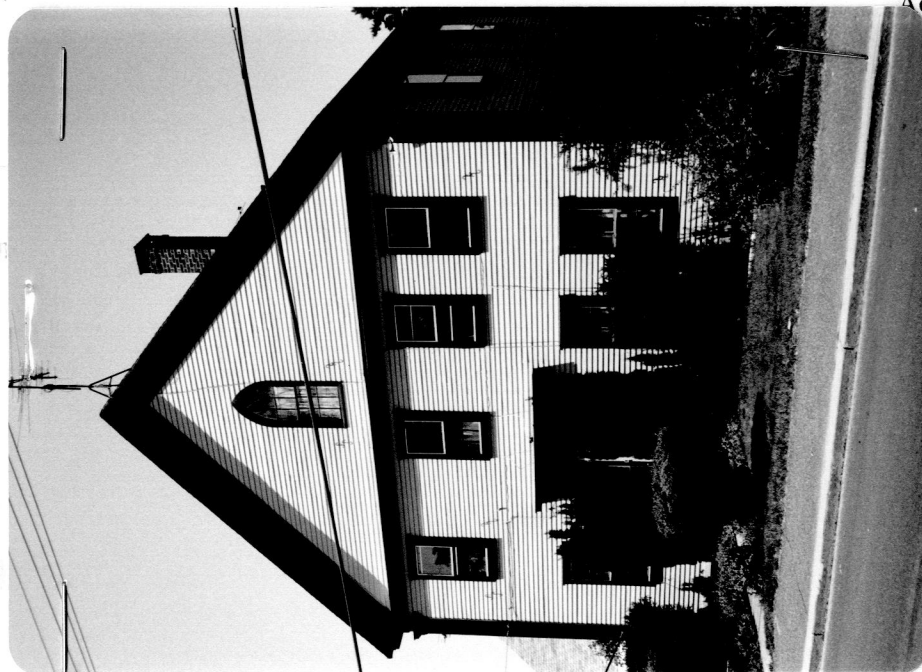
Organization Barnstable Historical

Commission

Date 1980

Researcher Patricia J. Anderson

(over)





7. Original owner (if known) Hezekiah Doane

Original use homestead

Subsequent uses (if any) and dates

8. Themes (check as many as applicable)

Aboriginal	<u></u>	Conservation	<u></u>	Recreation	<u></u>
Agricultural	<u></u>	Education	<u></u>	Religion	<u></u>
Architectural	<u>XX</u>	Exploration/	<u></u>	Science/	<u></u>
The Arts	<u></u>	settlement	<u></u>	invention	<u></u>
Commerce	<u></u>	Industry	<u></u>	Social/	<u></u>
Communication	<u></u>	Military	<u></u>	humanitarian	<u></u>
Community development	<u>XX</u>	Political	<u></u>	Transportation	<u></u>

9. Historical significance (include explanation of themes checked above)

In 1807 Edmond Freeman of Sandwich conveyed to Hezekiah Doane, shipwright, his homestead land. Whereupon Hezekiah erected his house and lived until his death in 1834. The property passed to his wife, Elizabeth, who in 1835, sold it to Barnabas Chipman. Barnabas removed to Boston and sold all his real estate to Isaac Chipman for \$1400. It was Isaac Chipman who, along with Reverend Mr. Henry Hersey, Josiah Hinckley, and Joseph Bursley, helped to save the Probate Record Books when in 1827, the County House burned to the ground. Mr. Hinckley and Mr. Bursley passed the books to Mr. Chipman and Rev. Hersey and they took them to a place of safety. In 1846 the estate was purchased and improved by Heman Foster, according to G. A. Hinckley's notes. The house was originally a half high with ell on west. The ell has been brought forward to front of house and the roof changed.

10. Bibliography and/or references (such as local histories, deeds, assessor's records, early maps, etc.)

Hinckley, Gustavus A., Notes and Sketches of Old Barnstable Houses

Registry of Deeds - Barnstable County

Registry of Probate - Barnstable County

Barnstable County Atlas, 1858, 1880

Trayser, D. G., Barnstable, Three Centuries of a Cape Cod Town, 1939.



**MHC INVENTORY FORM CONTINUATION SHEET**

*MHC Inventory scanning project, 2008-2013*

MACRIS No. BRN. 88







Map printed on: 3/3/2022

0 167 333 Feet

Approx. Scale: 1 inch = 167 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



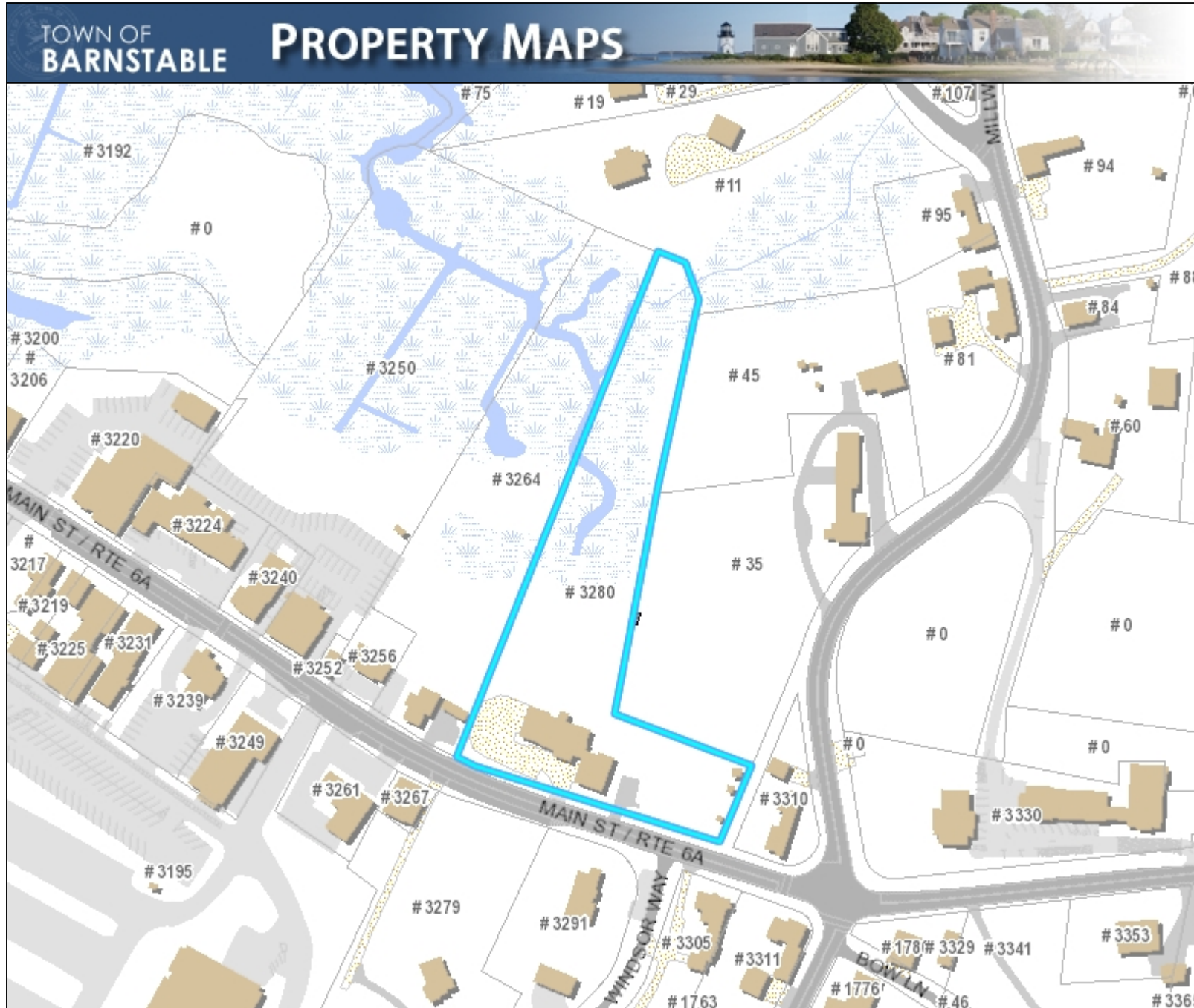
Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



**Legend**

- Parcels
- Town Boundary
- Railroad Tracks
- Buildings
- Approx. Building
- Buildings
- Painted Lines
- Parking Lots
- Paved
- Unpaved
- Driveways
- Paved
- Unpaved
- Roads
- Paved Road
- Unpaved Road
- Bridge
- Paved Median
- Streams
- Marsh
- Water Bodies

Map printed on: 3/3/2022

0 167 333 Feet

Approx. Scale: 1 inch = 167 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.

**Town of Barnstable GIS Unit**

367 Main Street, Hyannis, MA 02601

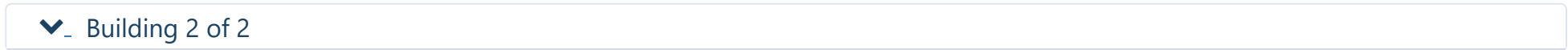
508-862-4624

gis@town.barnstable.ma.us



1/7





Heat type  
None

Heat fuel  
None

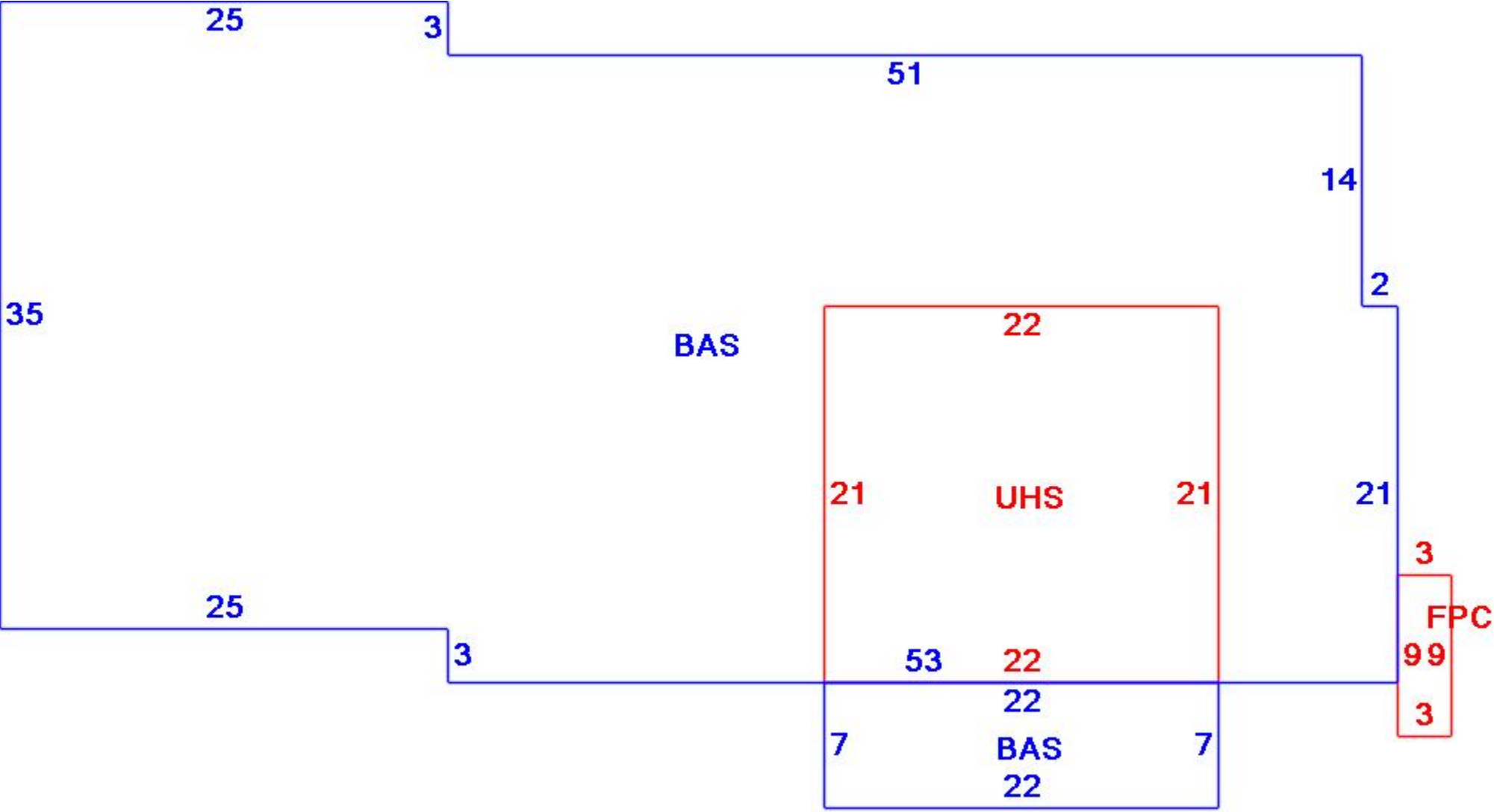
AC type  
None

## Bedrooms

## Bath rooms

Total rooms





▼ Permit History

Issue Date	Purpose	Permit Number	Amount	InspectionDate	Comments
04/03/2019	Sign	19-560	\$0	06/30/2019	Reface existing sign 26x3.5x.5 donnelledesign
09/30/2015	New Roof	201506474	\$4,000	06/30/2016	RE-ROOF STRIPPING OLD
01/18/2011	Remodel	201100072	\$2,500	06/30/2011	FRNT ENTRY TO BARN-INTER CABINETRY,DRYWALL,PAINTING,CARPENTRY
12/06/2010	Shed	201006611	\$0	06/30/2011	10X12 SHED
08/02/2007	Commercial	200704584	\$5,000	06/30/2008	RAMP
02/16/2007	Commercial	200700751	\$50,000	06/30/2008	OFFICES

▼ Sale History

Line	Sale Date	Owner	Book/Page	Sale Price
1	01/29/2007	MCKENZIE BETTY, KEITH & MARGARET	21735/0008	\$800,000
2	07/10/1995	CLAGG, HARRY B & DOROTHY H	9745/0327	\$1
3	06/17/1994	CLAGG, HARRY B & DOROTHY H	9258/0023	\$1
4	06/17/1994	CLAGG, HARRY B TR	9236/0319	\$1
5	06/15/1994	CLAGG, HARRY B	9258/0022	\$1
6	06/12/1990	CLAGG, HARRY B TR	7190/0177	\$1
7	05/25/1982	CLAGG, CHARLES F	3486/0330	\$1

▼ Assessment History

Save #	Year	Building Value	XF Value	OB Value	Land Value	Total Parcel Value
1	2022	\$436,300	\$9,400	\$4,500	\$330,000	\$780,200
2	2021	\$408,200	\$9,400	\$4,500	\$330,000	\$752,100
3	2020	\$382,000	\$7,800	\$3,800	\$299,400	\$693,000
4	2019	\$382,000	\$7,800	\$4,100	\$299,400	\$693,300
5	2018	\$344,500	\$7,800	\$4,300	\$299,400	\$656,000
6	2017	\$333,900	\$7,600	\$4,400	\$299,400	\$645,300

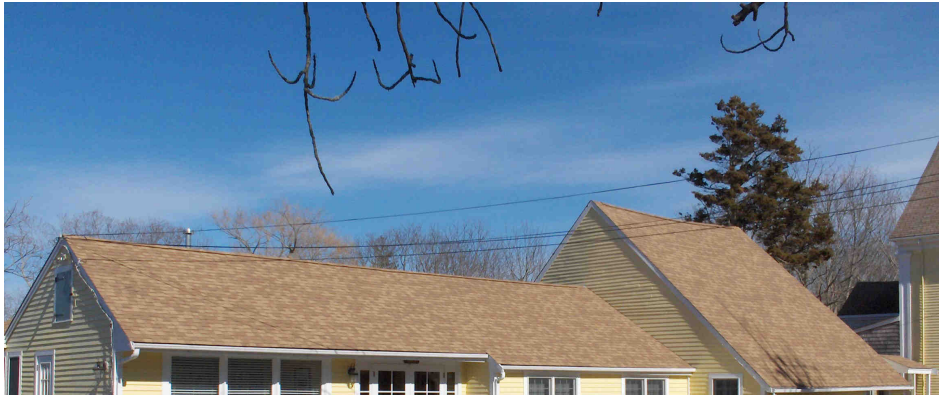


Save #	Year	Building Value	XF Value	OB Value	Land Value	Total Parcel Value
7	2016	\$333,900	\$7,600	\$4,400	\$299,400	\$645,300
8	2015	\$384,800	\$6,700	\$6,000	\$287,600	\$685,100
9	2014	\$341,200	\$6,000	\$0	\$287,600	\$634,800
10	2013	\$341,200	\$6,000	\$0	\$287,600	\$634,800
11	2012	\$330,500	\$5,500	\$0	\$291,400	\$627,400
12	2011	\$332,100	\$0	\$0	\$291,400	\$623,500
13	2010	\$332,100	\$0	\$0	\$291,400	\$623,500
14	2009	\$388,600	\$0	\$0	\$294,300	\$682,900
15	2008	\$388,600	\$0	\$0	\$294,300	\$682,900
17	2007	\$388,600	\$0	\$0	\$294,300	\$682,900
18	2006	\$325,500	\$0	\$0	\$294,300	\$619,800
19	2005	\$237,800	\$0	\$0	\$292,900	\$530,700
20	2004	\$212,300	\$0	\$0	\$292,900	\$505,200
21	2003	\$144,400	\$0	\$0	\$197,000	\$341,400
22	2002	\$144,400	\$0	\$0	\$197,000	\$341,400
23	2001	\$144,400	\$0	\$0	\$197,000	\$341,400
24	2000	\$112,400	\$0	\$0	\$175,700	\$288,100
25	1999	\$112,400	\$0	\$0	\$175,700	\$288,100
26	1998	\$112,400	\$0	\$0	\$174,600	\$287,000
27	1997	\$102,100	\$0	\$0	\$73,100	\$195,000
28	1996	\$102,100	\$0	\$0	\$73,100	\$195,000
29	1995	\$102,100	\$0	\$0	\$183,100	\$305,000
30	1994	\$99,200	\$0	\$0	\$190,100	\$306,700
31	1993	\$99,200	\$0	\$0	\$190,100	\$306,700
32	1992	\$113,100	\$0	\$0	\$211,100	\$344,000
33	1991	\$115,400	\$0	\$0	\$301,100	\$447,300
34	1990	\$115,400	\$0	\$0	\$301,100	\$447,300
35	1989	\$115,400	\$0	\$0	\$301,100	\$447,300
36	1988	\$115,200	\$0	\$0	\$191,500	\$319,300
37	1987	\$115,200	\$0	\$0	\$191,500	\$319,300
38	1986	\$115,200	\$0	\$0	\$191,500	\$319,300

Photos



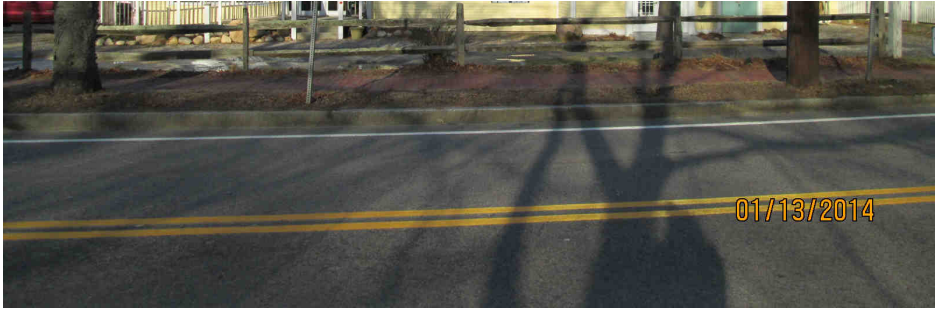














Property ID: 299012

GLENNON. DORIS L  
PO BOX 6  
BARNSTABLE. MA 02630

Property ID: 299015

LEWIS. JON ROBERT TR  
MATTAKEESE HILL REALTY TRUST  
PO BOX 1196  
BARNSTABLE. MA 02630

Property ID: 299016

WEIR. NANCY NEIL & KLUN. VICTORIA  
PO BOX 222  
BARNSTABLE. MA 02630

Property ID: 299034

HARDEN. CHARLES M TR  
CHARLES M HARDEN TRUST  
PO BOX 82  
BARNSTABLE. MA 02630

Property ID: 299035

MCKENZIE BETTY. KEITH & MARGARET  
3286 MAIN ST  
PO BOX 645  
BARNSTABLE. MA 02630

Property ID: 299036

GOCKSCH. MICHAEL K & CLEARY. MEGHAN C  
295 CENTRAL PARK W APT 9G  
NEW YORK. NY 10024

Property ID: 299037001

35 MILLWAY LLC  
45 MILLWAY  
BARNSTABLE. MA 02630

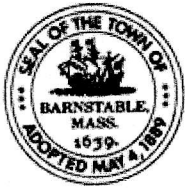
Property ID: 299037002

KERR. JONATHAN S & SUSAN L  
P O BOX 421  
BARNSTABLE. MA 02630

Property ID: 300013

HEMPSTEAD. JAMES & WARGO. JENNIFER E  
11 FREEZER ROAD  
BARNSTABLE. MA 02630





**Town of Barnstable**  
**Old King's Highway Historic District Committee**  
200 Main Street, Hyannis, Massachusetts 02601  
Telephone (508) 862-4787, Email [grayce.rogers@town.barnstable.ma.us](mailto:grayce.rogers@town.barnstable.ma.us)



**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

Application is hereby made, with six (6) complete, colored sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Date 2-10-22 Map & Parcel 156 31

Property Owner SUSAN WHITE Phone 508-237-9668

Street address 825 MAIN STREET Email SAM4WHITE@COMCAST.net

Village WEST BARNSTABLE

Mailing address 825 MAIN STREET WEST BARNSTABLE Signature Susan White

Agent/Contractor ANNE M. MICHNIEWICZ Phone 508 362 6466

Agent Address 21 HEARTHSTONE WAY E. SANDWICH Email ammichniewicz@hotmail.com

Agent Signature [Signature]

If approved, the Certificate of Appropriateness expires one year from the stamped approval date or upon the expiration of a Building Permit, whichever date shall be later. A one year extension may be requested, in writing, to the Old King's Highway Administrative Assistant at 200 Main Street, Hyannis, MA 02601. This request must be received prior to the date of expiration.

There is a 10 day appeal period plus a four day waiting period for all applications after which time your approval paperwork will be available for pickup and building permit sign-off. All applications are subject to meeting any applicable building code requirements.

Building Construction ☐ New Build ☒ Addition Check all categories that apply ☐ Residential ☐ Commercial

Type of Building ☐ House ☐ Garage ☐ Barn ☐ Shed ☐ Other

Project ☒ Roof ☒ Windows/Doors ☐ Siding/Painting ☐ Solar ☐ Other

Landscape Feature ☐ Fence ☐ Wall ☐ Flag Pole ☐ Pool ☐ Other

Signs ☐ New Sign ☐ Replace Sign ☐ Repaint Sign ☐ Other

Description of Proposed Work NEW 15'x15' ADDITION w/ 4'x8' PORTICO

**DENIED**

for Committee use only This Certificate is hereby **APPROVED**

By a vote of Aye  Nay  Abstain Date \_\_\_\_\_

Members signatures \_\_\_\_\_

Conditions of Approval \_\_\_\_\_



# CERTIFICATE OF APPROPRIATENESS - SPEC SHEET

**CHIMNEY** NA Material  Color

**ROOF** Make & style RED CEDAR Color NATURAL

Roof Pitch (s) - (7/12 minimum) 9/12 MATCH EXISTING  
(specify on plans for new building & major additions)

**GUTTER** Type/Material ALUM Color

## WINDOWS, DOORS, TRIM, SHUTTERS, SKYLIGHTS

**Window/Door Trim material** Wood  Other specify AZEK

Size of cornerboards 1x6 Size of casings (1X4 min) 1x4 Color WHITE

Rakes 1<sup>st</sup> member 1x8 2<sup>nd</sup> Member 1x2 Depth of overhang 8"

**Windows:** Make/Model ANDERSEN Material VINYL CLD Color WHITE

**Window Grills** Divided Light ☐ Exterior Glued Grills ☒ Grills Between Glass ☒

Removable Interior Grills ☐ No Grills ☐ Grill Pattern 6/6 & 9/6

**Doors:** Style & Make 12 LT / 1 PANEL Material FIBERGLASS Color WHITE

**Garage doors:** Style  Size of opening  Material

NA Color

**Shutters:** NA Type & Style  Material  Color

**Skylights:** Type  Make & Model

NA Material  Size  Color

**SIDING** Type Clapboard ☐ Shingle ☒ Other ☐

Material Red Cedar ☐ White Cedar ☒ Other ☐

Paint Color NATURAL

**FOUNDATION** Type POURED CONCRETE (max 12' exposed)

**DECK** Material AZEK Color GRAY

**SIGNS** NA Size  Materials  Color

**FENCE** Type (split rail, chain link) Color

NA Material  Length

**RETAING WALL** Description

**LIGHTING** Type and location (free standing affixed to structure, illuminated)



# CHECKLIST – CERTIFICATE OF APPROPRIATENESS

*Please complete the Checklist that is applicable to your project.*

*Submit six (6) complete colored sets, unless otherwise noted*

## FEES

- ☒ **Filing Fee** according to fee schedule, please make checks payable to the Town of Barnstable
- ☒ **Legal Ad fee**, in the amount of **\$19.84**, made payable to the Town of Barnstable
- ☒ **First Class Postage Stamps** for abutter notification. Please contact Barnstable Old King's Highway Office for correct count

## ALTERATIONS *(new paint color, change of siding material, roofing, windows, doors, shutters, etc)*

- ☒ **Application for Certificate of Appropriateness**
- ☒ **Spec Sheet**, brochures and color samples
- ☒ Plans of building elevations/photographs, ONLY if there is a change to the location and size of the window (s) or Door (s).

## MINOR ADDITIONS *(decks, enclosing a porch, sheds (over 120 sqft)*

- ☒ **Application for Certificate of Appropriateness**,
- ☒ **Spec Sheet**, brochures and color samples
- ☒ **Site Plan**, ONLY if there are changes to the footprint *(see site plan criteria below)*
  - A site plan drawn on a mortgage survey plan or GIS map may be used for minor additions, UNLESS the porch, deck, pool, or Shed etc. is close to lot lines, zoning setback lines, or other buildings, in which case a certified site plan must be submitted
- ☒ **Photographs** of all building elevation affected by any proposed alterations
- ☒ **Plans** 2 full scale plans, plus 4 copies of the plan at reduced scale to fit 8.5x11 or 11x17 paper
  - Company brochure of manufacturers shed or to-scale sketch **or** affected structure or building elevations

## ASSESSORY STRUCTURES, NEW/ALTERED *(fences, new stonewalls, changes to retaining walls, pools etc)*

- ☐ **Application for Certificate of Appropriateness**
- ☐ **Spec Sheet**, brochures &/or diagram
- ☐ **Site Plan** *(see site plan criteria below)*
- ☐ **Photographs** of any existing structure that will be affected by the change

## SIGNS *(complete sign supplement)*

- ☐ **Rendering** of the proposed sign, showing graphics, dimensions, design and height of post, color, and materials
- ☐ **Site Plan** on GIS map or mortgage survey, or photographs, or to-scale sketch of building elevation showing location of Proposed sign; and any tree to be removed near a freestanding sign *(see below for site plan criteria)*

## SOLAR PANELS *(complete solar panel supplement)*

- ☐ **Drawing** of locations of panels on house showing roof and panel dimensions
- ☐ **Site Plan** showing location of building on property *(see site plan criteria below)*

## SITE PLAN CRITERIA

- ☒ Name of applicant, street location, map and parcel
- ☒ Name of architect, engineer, or surveyor; original stamp & signature; date of plan & revision dates
- ☒ North arrow, written and drawn to scale
- ☐ Changes to existing grades shown with one-foot contours
- ☒ Proposed & existing footprint of building and/or structures, and distance to lot lines
- ☐ Proposed driveway location
- ☐ Proposed limits of clearing for building (s), assessor structure (s), driveway and septic system
- ☐ Retaining walls or accessory structures (e.g. pool, tennis court, cabana, barn, garage, etc)



# NEW BUILDINGS, ADDITION, OR COMMERCIAL BUILDING CHECKLIST – CERTIFICATE OF APPROPRIATENESS

*Submit Six (6) complete colored sets, unless otherwise noted*

## ☒ Application for Certificate of Appropriateness

..... ☐ Spec Sheet, brochures or diagram

## ☒ Site Plan

- ..... ☒ Name of applicant, street location, map and parcel
- ..... ☒ Name of architect, engineer, or surveyor; original stamp & signature; date of plan & revision dates
- ..... ☒ North arrow, written and drawn to scale
- ..... ☒ Changes to existing grades shown with one-foot contours
- ..... ☒ Proposed & existing footprint of building and/or structures, and distance to lot lines
- ..... ☐ Proposed driveway location
- ..... ☐ Proposed limits of clearing for building (s), assessor structure (s), driveway and septic system
- ..... ☐ Retaining walls or accessory structures (e.g. pool, tennis court, cabana, barn, garage, etc)

## ☒ Building Elevations

- ..... ☒ Plans at scale of  $\frac{1}{4}'' = 1$  foot; a written drawn scale
- ..... ☒ Plans at a reduced scale to fit 8.5"x11 or 11x17 paper
- ..... ☒ Name of applicant, street location, map and parcel
- ..... Name of Building Designer, or architect; original signature of plan preparer and stamp; plan date, and all revision dates.
- \*All new house or commercial building plans must have an original signature and stamp, if any, by a registered Architect, member of AIBD, or a licensed Massachusetts Home Improvement Contractor, unless this requirement is waived by the Old King's Highway Historic District Committee.*
- ..... ☒ A written and bar drawn scale
- ..... ☒ Elevations of all (affected) sides of the building, with dimensions including height from the natural grade adjacent to the Building to the top of the ridge; location and elevation of finished grade, roof pitch (s) dormer setbacks; trim style, window And door styles. Changes to existing building must be clouded on drawings.
- ..... Window schedule on plans

## ☒ Landscape Plan (drawn on a certified perimeter plan containing the following)

- ..... Name of applicant, street address, assessor's map and parcel number
- ..... Name, address, and telephone number of the plan preparer, plan date, & date of revisions
- ..... The location of existing and proposed buildings and structures, and lot lines
- ..... Natural features of site (i.e. rock outcroppings, streams, wetlands, etc)
- ..... Existing buffer areas to remain
- ..... Location and species of trees and plants
- ..... Driveway, parking areas, walkways, and patios, indicating materials to be used
- ..... Existing stone walls, and proposed walls including retaining walls for slope retention or septic systems
- For removal of stone walls, you must file a demolition application*
- ..... All proposed exterior lighting and signs

## ☒ Sketch or Photos of adjacent properties

- ..... A sketch (s) to scale or photographs of nearby adjacent buildings, where present, along both sides of the street frontage, Showing the proposed new house or commercial building in scale and in relationship to the existing buildings.
- Please discuss with staff if you do not think this is relevant to your application.*

## ☒ Photographs of all sides of existing buildings to remain or being added to

### Existing building, foot print

Building 1 (sq. ft.) 340 Building 2 (sq. ft.) \_\_\_\_\_

### Existing building, gross floor area, including area of finished basement

Building 1 (sq. ft.) 1440 Building 2 (sq. ft.) \_\_\_\_\_

### New Building or addition, foot print

Building 1 (sq. ft.) 225 Building 2 (sq. ft.) \_\_\_\_\_

### New Building or addition, gross floor area, including area of finished basement

Building 1 (sq. ft.) 225 Building 2 (sq. ft.) \_\_\_\_\_

Plan preparer, signature and date

*Ann M. Murphy*

2-10-22



## ZONING SUMMARY

ZONING DISTRICT: R-40 DISTRICT

MIN. LOT SIZE	43,560 S.F.
MIN. LOT FRONTAGE	150'
MIN. FRONT SETBACK	30'
MIN. SIDE SETBACK	15'
MIN. REAR SETBACK	15'

ASSESSORS MAP 156 PARCEL 31  
DEED BK. 8602 PG. 229  
PLAN BK. 197 PG. 149

## NOTES

1. DATUM IS ASSUMED
2. THIS PLAN IS FOR PROPOSED WORK ONLY AND NOT TO BE USED FOR LOT LINE STAKING OR ANY OTHER PURPOSE.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING DIGSAFE (1-888-344-7233) AND VERIFYING THE LOCATION OF ALL UNDERGROUND & OVERHEAD UTILITIES AS WELL AS SEWER LINE IN AREA OF CONSTRUCTION PRIOR TO COMMENCEMENT OF WORK.
4. EXISTING SEPTIC LOCATION PER TIE-CARD ON FILE WITH TOWN.

## PLOT PLAN

OF

825 MAIN STREET

WEST BARNSTABLE

PREPARED FOR

SUSAN WHITE

FEBRUARY 1, 2022

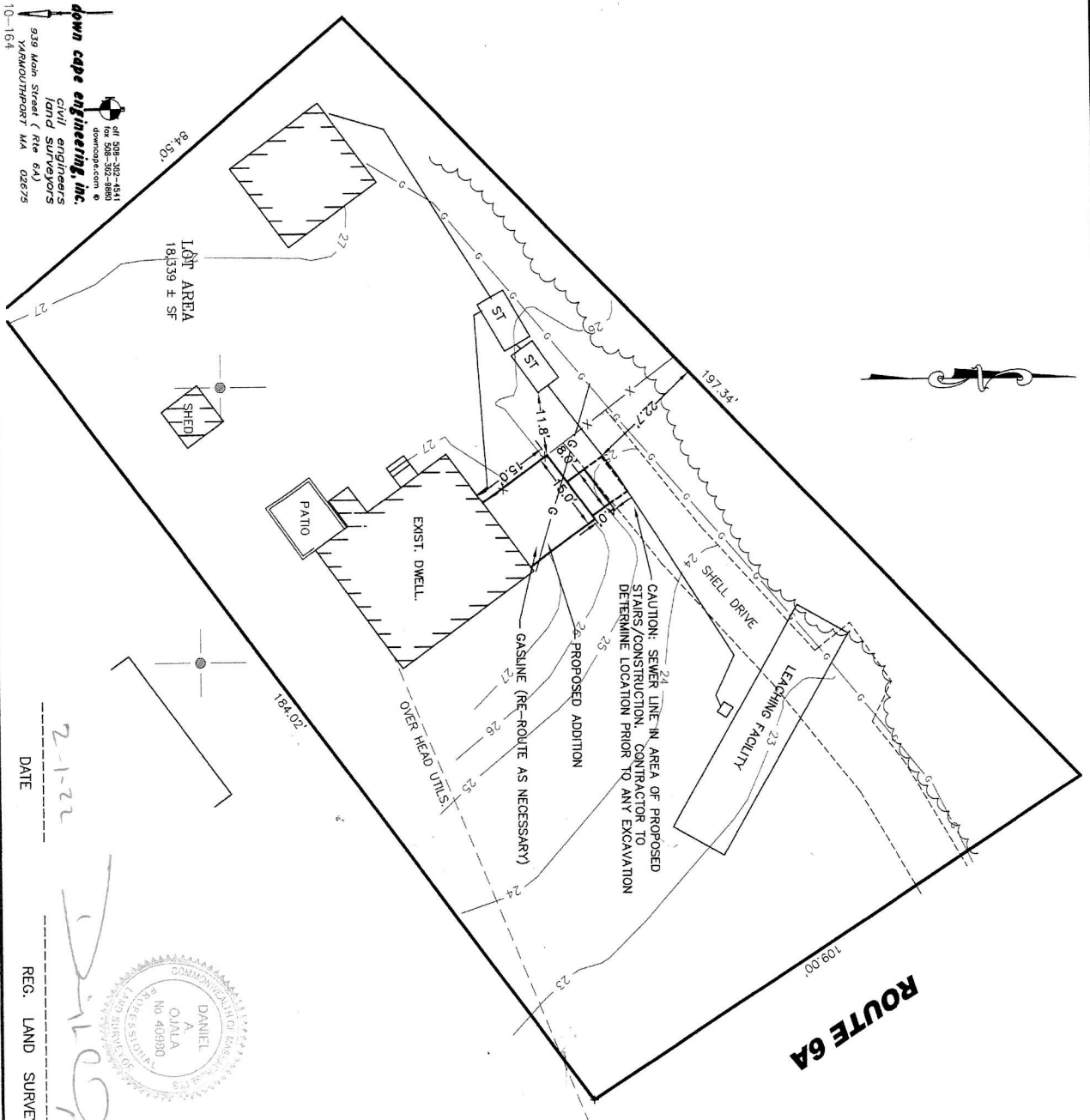
Scale: 1" = 20'



**down cape engineering, inc.**  
civil engineers  
land surveyors  
939 Main Street (Rte 6A)  
YARMOUTHPORT MA 02675  
Tel: 508-382-4541  
Fax: 508-382-4541  
dcape@downcape.com

DATE

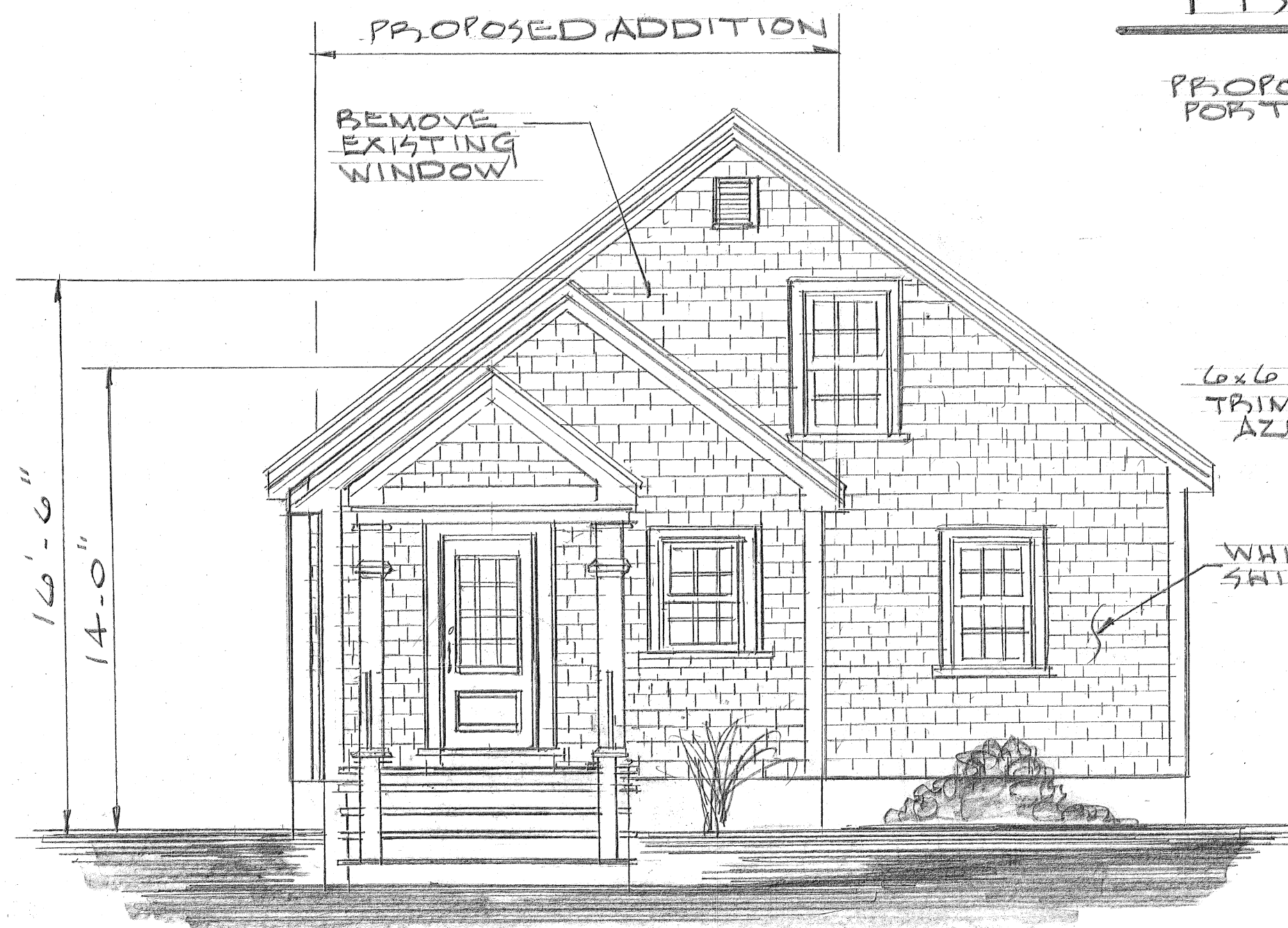
REG. LAND SURVEYOR





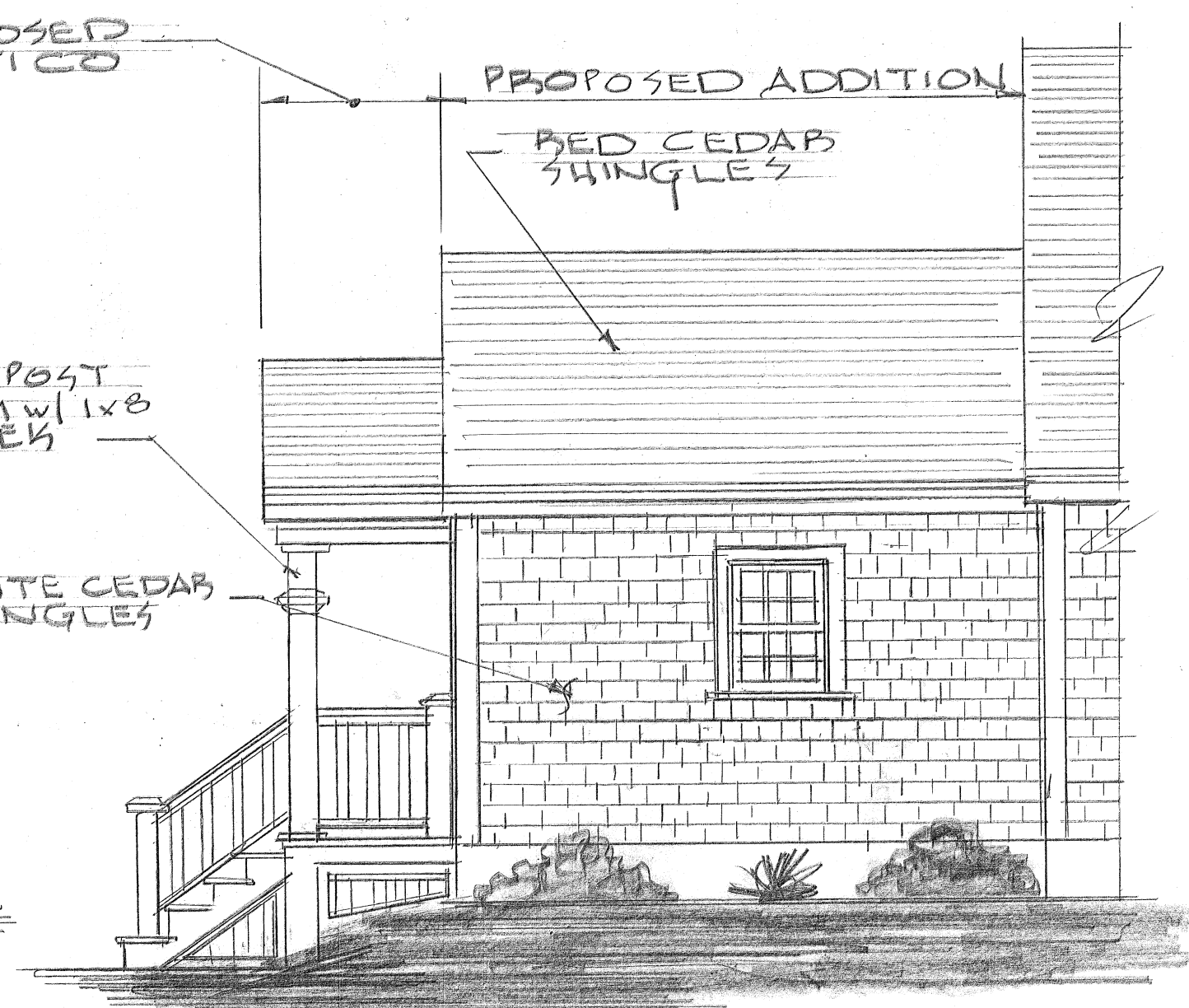


FRONT ELEVATION



RIGHT ELEVATION

SCALE 1/4" = 1'-0"



REAR ELEVATION

SCALE 1/4" = 1'-0"

0 1 2 3 4 5 6 7  
SCALE 1/4" = 1'-0"

156 - 31

PROPOSED ADDITION TO THE  
WHITE RESIDENCE  
825 MAIN STREET  
WEST BARNSTABLE, MA

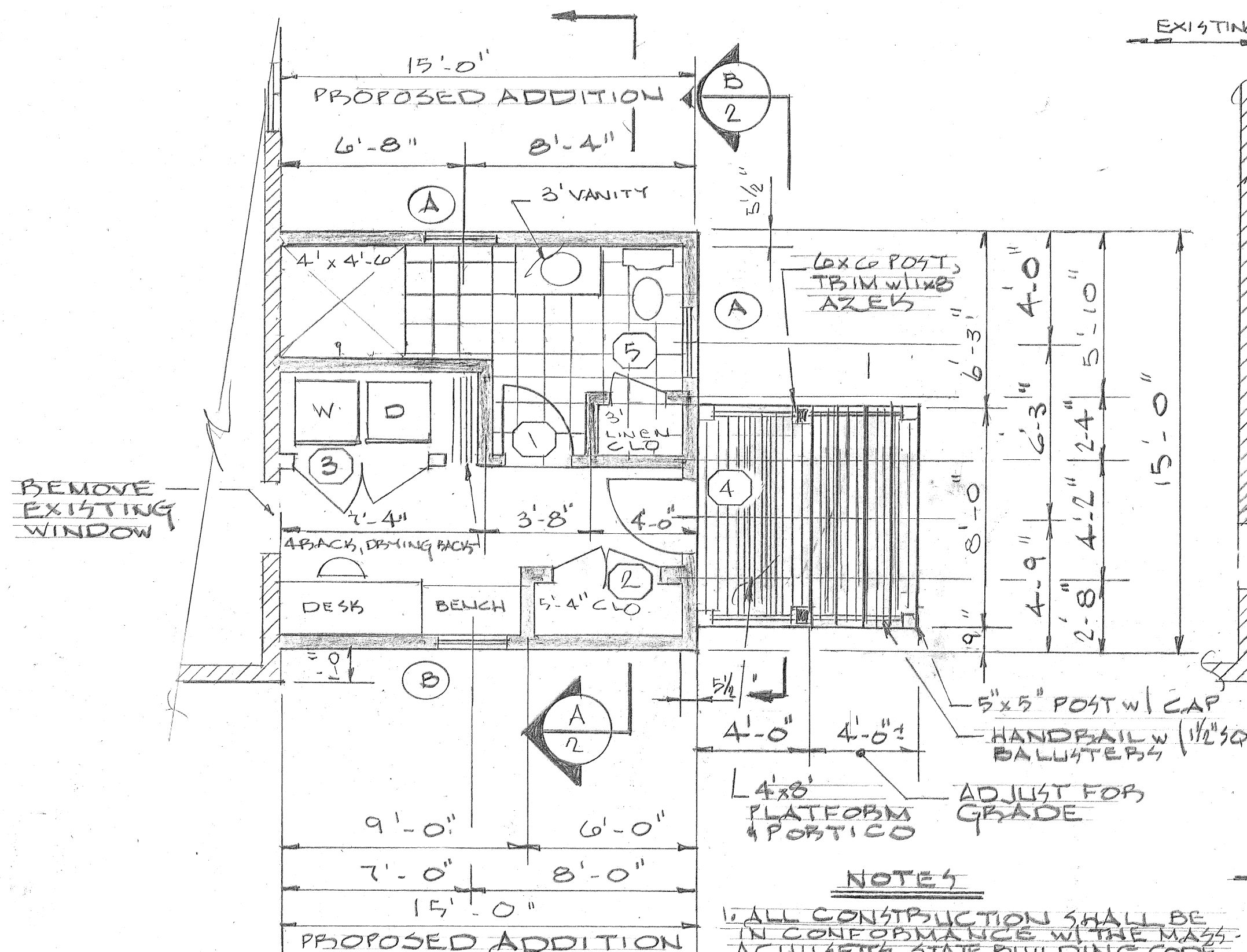
ELEVATIONS

DRAWN BY  
A. MICHAEL WIEL

DATE 1.2022

DWG NO  
1





**FLOOR PLAN**

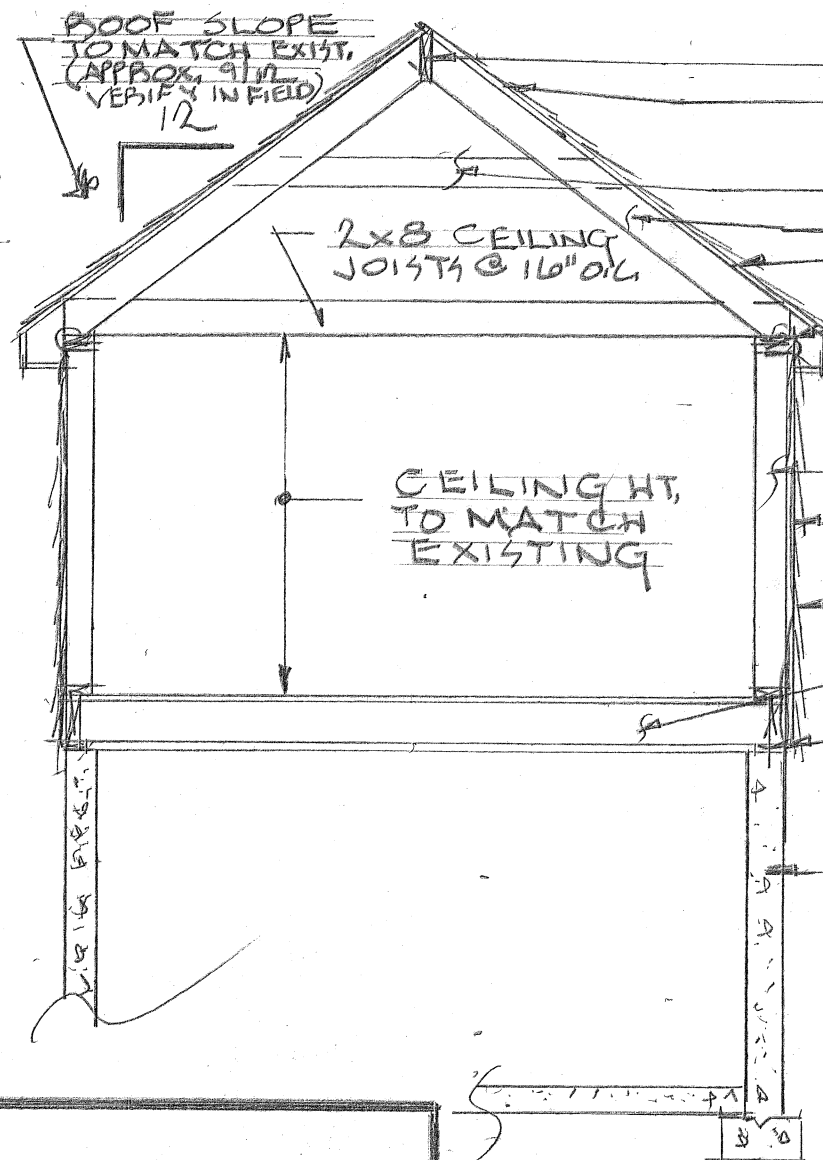
SCALE 1/4" = 1'-0"

**NOTES**

1. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MASSACHUSETTS STATE BUILDING CODE 9TH EDITION IRC LOIS AND W.F.C.M. 1104PH EXPOSURE "B"
2. ALL DIMENSIONS SHALL BE VERIFIED BY THE OWNERS AND THE GENERAL CONTRACTOR PRIOR TO THE START OF CONSTRUCTION
3. INDICATES EXISTING
4. INDICATES NEW CONSTRUCTION

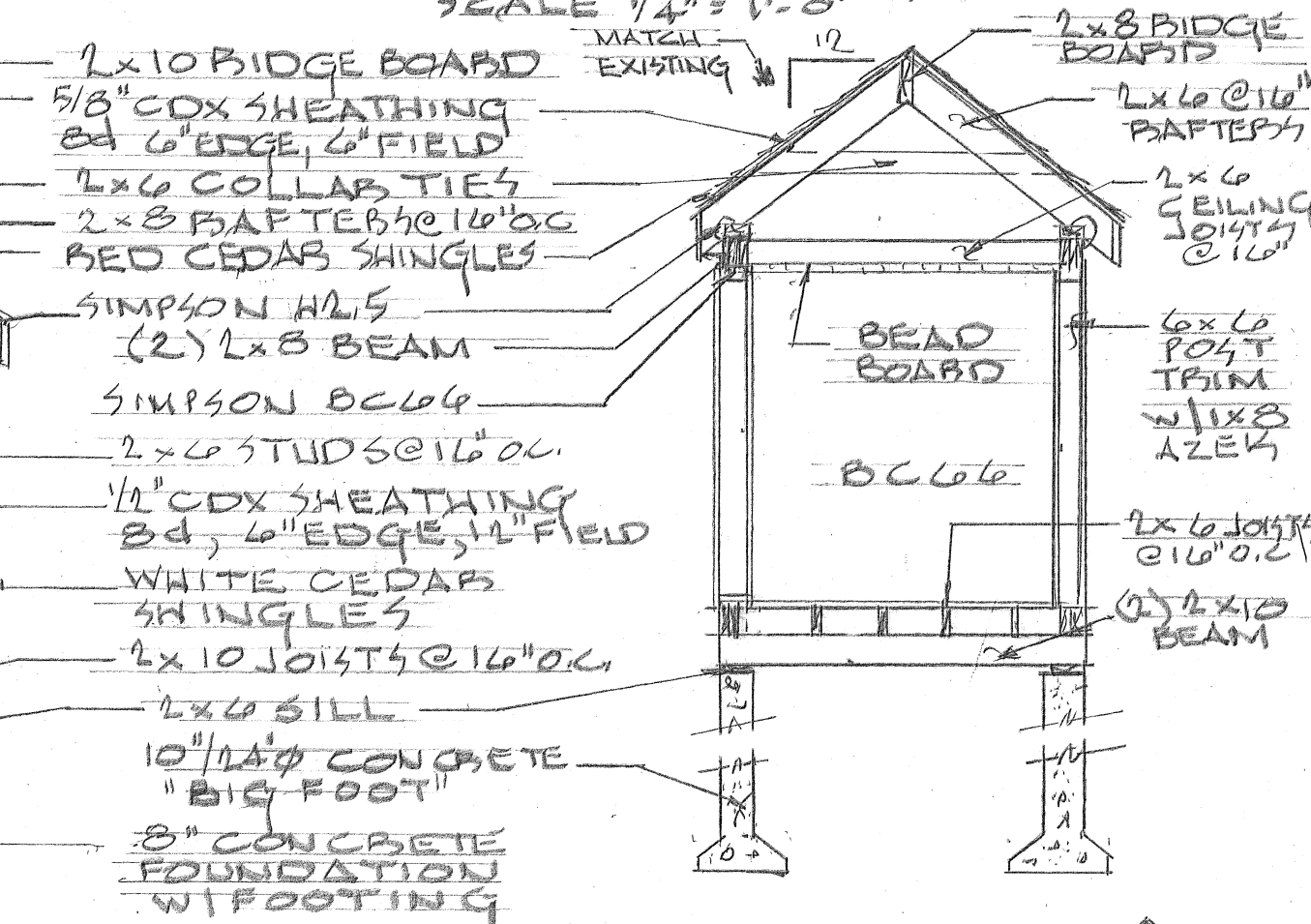
**FOUNDATION PLAN**

SCALE 1/4" = 1'-0"



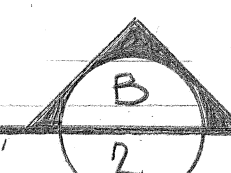
**FLOOR FRAMING PLAN**

SCALE 1/4" = 1'-0"



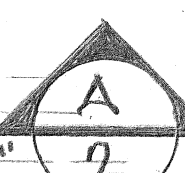
**SECTION B**

SCALE 1/4" = 1'-0"



**SECTION A**

SCALE 1/4" = 1'-0"



PROPOSED ADDITION TO THE  
WHITE RESIDENCE  
825 MAIN STREET  
WEST BARNSTABLE, MASSACHUSETTS

**PLAN, SECTIONS & SCHEDULES**

DRAWN BY:  
A.M. KHNIEWICZ

DATE  
1-2022

DWG NO  
1

DOOR SCHEDULE					
CODE	QUAN	SIZE	TYPE	DESIGN	REMARKS
1	2	2'-6" x 6'-8"	HINGED	5 PANEL	
2	1 PB	2'-0" x 6'-8"	BIPARTING	5 PANEL	
3	1 PB	2'-6" x 6'-8"	BIPARTING	5 PANEL	
4	1	2'-8" x 6'-8"	HINGED	12LT, 1 PANEL	
5	1	2'-0" x 6'-8"	HINGED	5 PANEL	

WINDOW SCHEDULE					
CODE	QUAN	GLASS SIZE	ROUGH OPNG	CATALOG NUMBER	REMARKS
A	2	23' x 15' 11/16	2'-6 1/8" x 3'-4 7/8"	ANDERSEN TW 2432	30 1 w/ SAFETY GLAZING 6/6
B	1	-	2'-6 1/8" x 4'-8 7/8"	ANDERSEN TW 2446	30 SAFETY GLAZING BEVERLY COITAGE 9/6

- NOTES**
1. 400 SERIES
  2. APPLIED GRILLES - INTERIOR, EXTERIOR & AIR SPACE

















Map printed on: 3/3/2022

0 83 167 Feet

Approx. Scale: 1 inch = 83 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



**Legend**

- Parcels
- Town Boundary
- + Railroad Tracks
- Buildings
  - Approx. Building
  - Buildings
- Painted Lines
- Parking Lots
  - Paved
  - Unpaved
- Driveways
  - Paved
  - Unpaved
- Roads
  - Paved Road
  - Unpaved Road
- ▨ Bridge
- Paved Median
- Streams
- Marsh
- Water Bodies

Map printed on: 3/3/2022

0 83 167 Feet

Approx. Scale: 1 inch = 83 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.

**Town of Barnstable GIS Unit**

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



←

Parcel: 156-031

Location: 825 MAIN ST./RTE 6A(W.BARN.), West Barnstable

Owner: WHITE, SUSAN MEADE



Parcel  
156-031

Location  
825 MAIN ST./RTE 6A(W.BARN.)

Village  
West Barnstable

Town sewer account  
No

CWMP Sewer Expansion (subject to change with final engineering design)  
None planned at this time

Developer lot:

Road type  
State

Fire district  
W Barnstable

Property Record Card  
[Property Record Card PDF File](#)

Secondary road

Road index  
0955

Interactive map  


Asbuilt septic scan  
[156031\\_1](#)

▼\_Owner: WHITE, SUSAN MEADE

Owner  
WHITE, SUSAN MEADE

Street1  
825 MAIN ST

City  
WEST BARNSTABLE

County

Co-Owner

Street2

State Zip Country  
MA 02668

Book page  
8602/0229

Street3

▼\_ Land

Acres  
0.39

Topography  
Level

Utilities  
Gas,Well,Septic

Use  
Multi Hses M-01

Street factor  
Paved

Location factor

Zoning  
RF

Town Zone of Contribution  
AP (Aquifer Protection Overlay District)

State Zone of Contribution  
OUT

Neighborhood  
0108

▼\_ Construction

▼\_ Building 1 of 2

Year built  
1930

Living area  
1337

Gross area  
2642

Style  
Cape Cod

Model  
Residential

Grade  
Average

Stories  
1.66

Roof structure  
Gable/Hip

Roof cover  
Wood Shingle

Exterior wall  
Wood Shingle

Interior wall  
Plastered

Interior floor  
Hardwood

Foundation

Heat type  
Hot Water

Heat fuel  
Oil

AC type  
None

Bedrooms  
3 Bedrooms

Bath rooms  
2 Full-0 Half

Total rooms  
6 Rooms

14

PTO

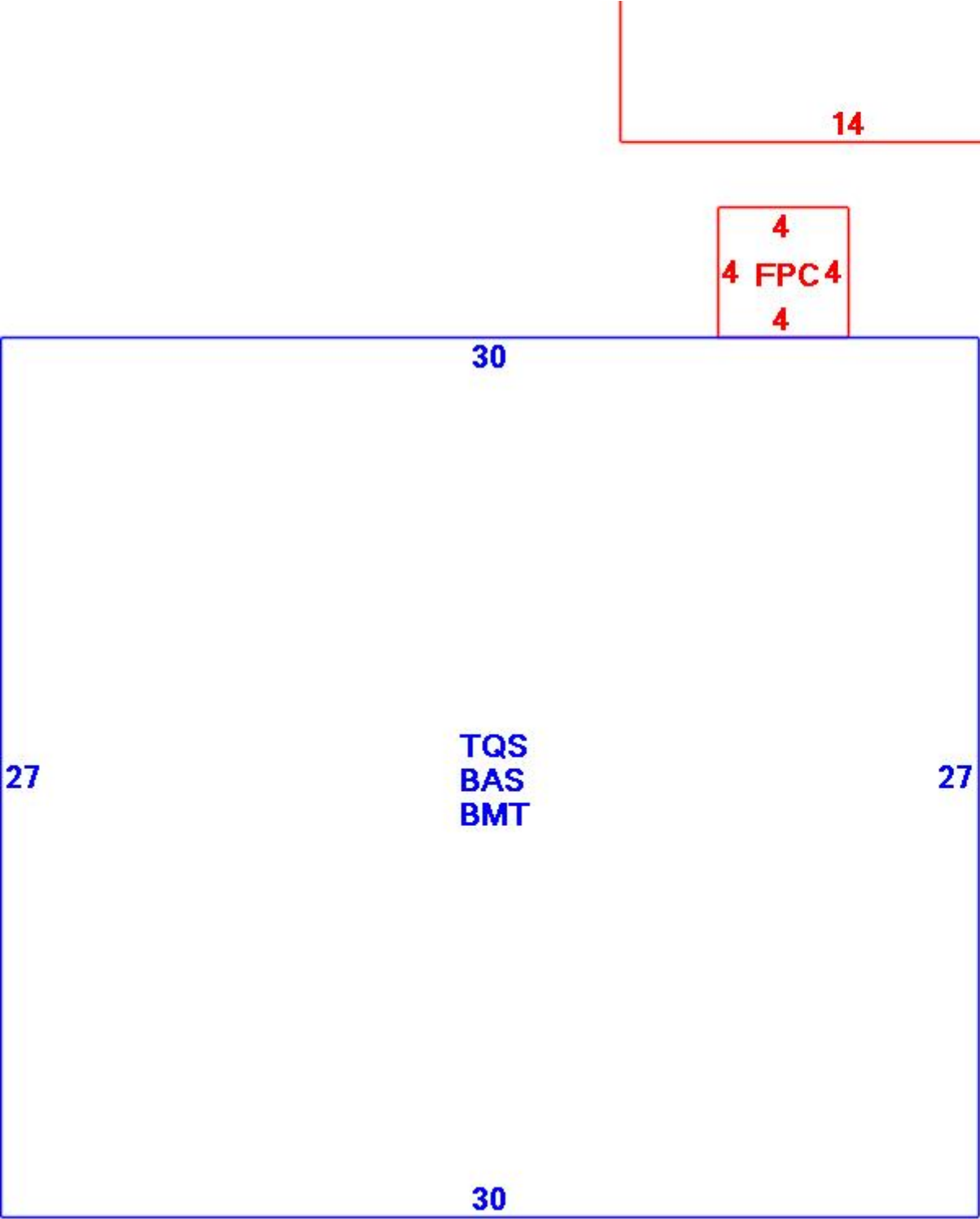
14

14

https://itsqldb.town.barnstable.ma.us:8407

1/6



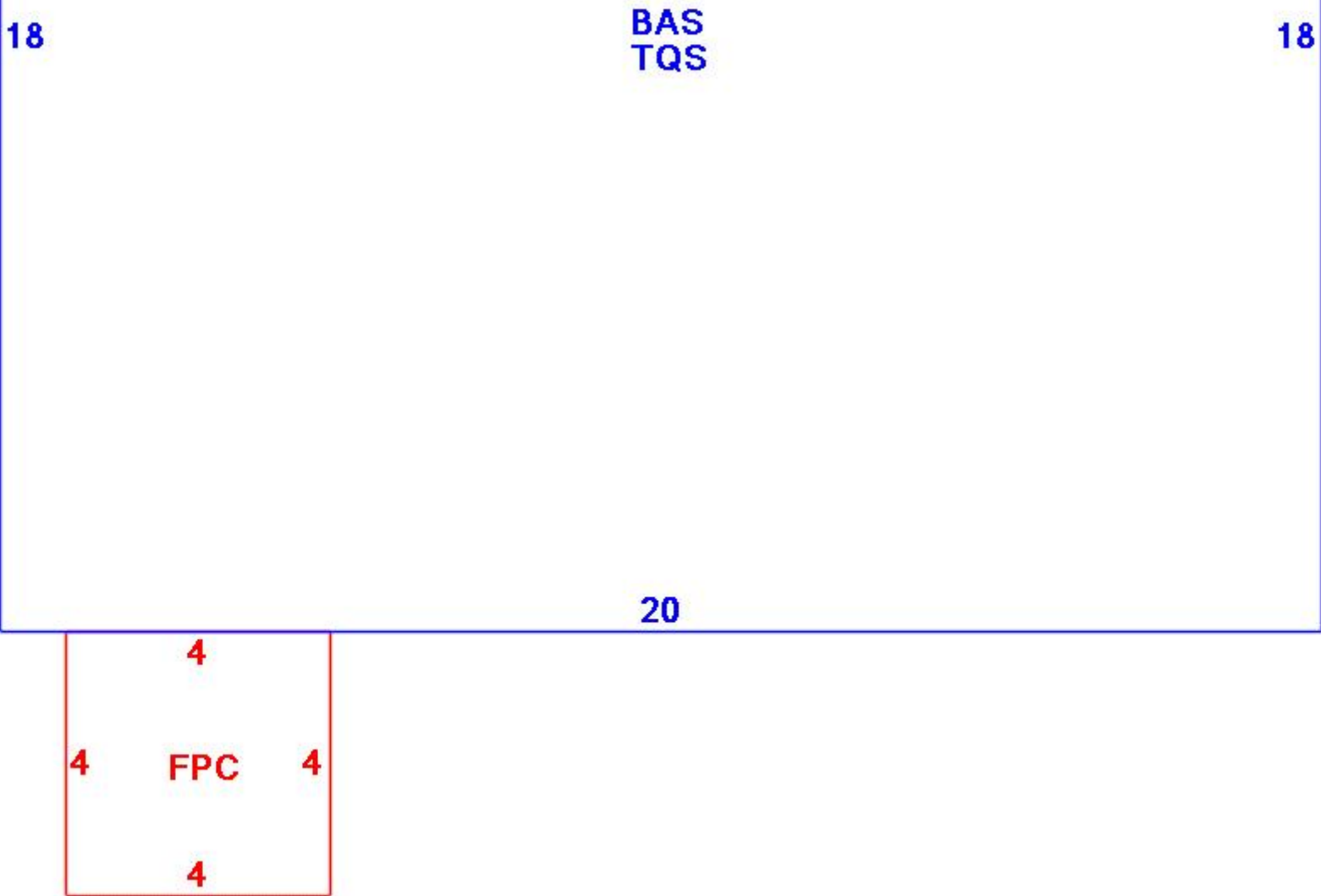


Building 2 of 2

Year built	Roof structure	Heat type
1930	Gable/Hip	Fan Unit-Gas
Living area	Roof cover	Heat fuel
594	Wood Shingle	Gas
Gross area	Exterior wall	AC type
736	Wood Shingle	None
Style	Interior wall	Bedrooms
Cape Cod	Drywall	1 Bedroom
Model	Interior floor	Bath rooms
Residential	Pine/Soft Wood	1 Full-0 Half
Grade	Foundation	Total rooms
Average		2
Stories		
1.66		







▼ Permit History

Issue Date	Purpose	Permit Number	Amount	InspectionDate	Comments
04/06/2018	Addn Alt-Res	18-712	\$6,000		Window in rear wall of house to be removed and replaced with 400 Series Patio Doors (2) Panel -RO: 64"/unit 63 1/4" Width- xRO 80"/Unit 79 1/2", Frame Width= 63 1/4, Frame Height=79 1/2
07/06/2016	Solar Panel-Res	16-1310	\$7,000	09/26/2016	Install solar electric panels on roof of existing house with any upgrades, when applicable, specified by Design; To be interconnected with home electrical system. 10 panels 2.7 KW
11/09/2015	Insulation	201507548	\$3,000	06/30/2016	ADD R-19 FIBERGLASS TO THE ATTIC AND BASMENT AIR SEAL THE AT TIC PLANE AND BEASMENT WITH EXPANDING FOAM
10/24/2014	New Windows	201407407	\$6,000	06/30/2015	RESIDE & WINDOW REPLACEMENT (4) ANDERSON 400 SERIES
12/29/2010	Remodel	201007026	\$35,000	07/25/2014	REPLC INTER UNSULATION & SHTRCK,KIT CABINETS,BTH FIXTURES,FLOORING

▼ Sale History

Line	Sale Date	Owner	Book/Page	Sale Price
1	06/15/1993	WHITE, SUSAN MEADE	8602/0229	\$1
2	11/15/1989	LONG, SUSAN WHITE	6971/0085	\$137,500
3	10/08/1976	WOHLKE, BARBARA L	2409/0212	\$0

▼ Assessment History

Save #	Year	Building Value	XF Value	OB Value	Land Value	Total Parcel Value
1	2022	\$267,800	\$22,900	\$700	\$165,400	\$456,800
2	2021	\$221,900	\$22,900	\$700	\$175,800	\$421,300
3	2020	\$202,800	\$19,900	\$700	\$186,100	\$409,500
4	2019	\$175,800	\$19,900	\$800	\$196,500	\$393,000

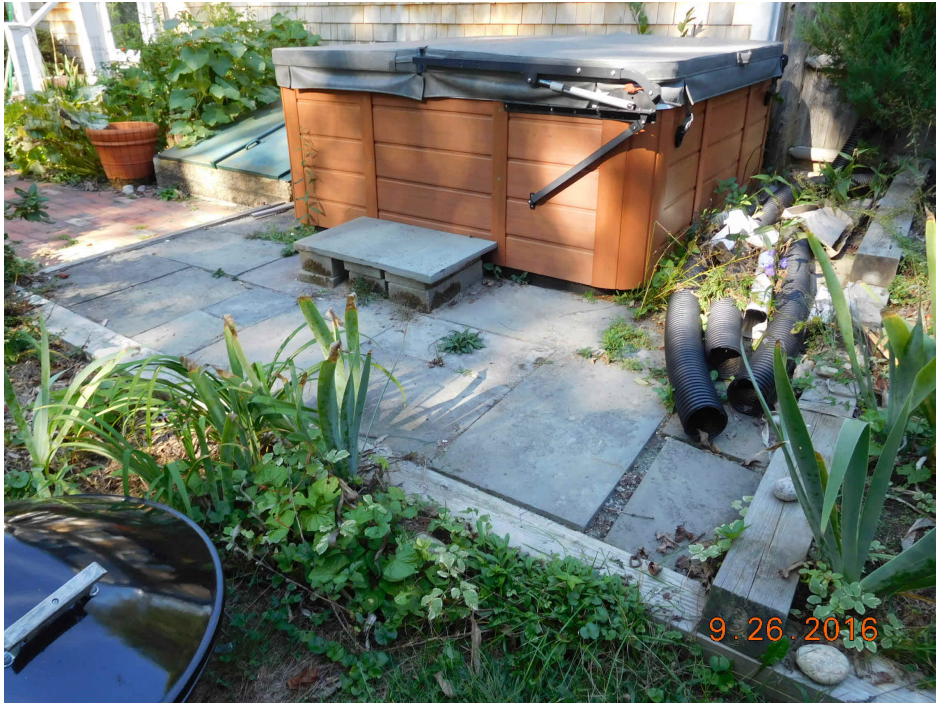


Save #	Year	Building Value	XF Value	OB Value	Land Value	Total Parcel Value
5	2018	\$146,000	\$19,900	\$900	\$195,900	\$362,700
6	2017	\$136,100	\$20,800	\$1,400	\$201,400	\$359,700
7	2016	\$136,100	\$20,800	\$1,400	\$203,000	\$361,300
8	2015	\$163,600	\$22,700	\$1,800	\$197,400	\$385,500
9	2014	\$134,100	\$20,300	\$1,900	\$197,400	\$353,700
10	2013	\$134,100	\$20,300	\$2,000	\$197,400	\$353,800
11	2012	\$137,100	\$20,000	\$1,500	\$192,000	\$350,600
12	2011	\$165,400	\$3,300	\$700	\$192,000	\$361,400
13	2010	\$165,000	\$3,300	\$900	\$202,700	\$371,900
14	2009	\$156,300	\$2,300	\$400	\$200,900	\$359,900
15	2008	\$162,000	\$2,300	\$400	\$224,300	\$389,000
17	2007	\$195,100	\$2,300	\$400	\$224,300	\$422,100
18	2006	\$169,100	\$2,300	\$400	\$207,900	\$379,700
19	2005	\$162,700	\$2,300	\$400	\$138,300	\$303,700
20	2004	\$128,900	\$2,300	\$500	\$138,300	\$270,000
21	2003	\$113,000	\$2,300	\$500	\$50,800	\$166,600
22	2002	\$113,000	\$2,300	\$500	\$50,800	\$166,600
23	2001	\$113,000	\$2,400	\$500	\$50,800	\$166,700
24	2000	\$86,800	\$2,300	\$0	\$28,000	\$117,100
25	1999	\$86,800	\$2,300	\$0	\$28,000	\$117,100
26	1998	\$86,800	\$2,300	\$0	\$28,000	\$117,100
27	1997	\$80,000	\$0	\$0	\$27,900	\$107,900
28	1996	\$80,000	\$0	\$0	\$27,900	\$107,900
29	1995	\$80,000	\$0	\$0	\$27,900	\$107,900
30	1994	\$84,500	\$0	\$0	\$25,100	\$109,600
31	1993	\$84,500	\$0	\$0	\$25,100	\$109,600
32	1992	\$96,200	\$0	\$0	\$27,900	\$124,100
33	1991	\$91,600	\$0	\$0	\$62,800	\$154,400
34	1990	\$91,600	\$0	\$0	\$62,800	\$154,400
35	1989	\$91,600	\$0	\$0	\$62,800	\$154,400
36	1988	\$79,600	\$0	\$0	\$24,800	\$104,400
37	1987	\$79,600	\$0	\$0	\$24,800	\$104,400
38	1986	\$79,600	\$0	\$0	\$24,800	\$104,400

Photos













Property ID: 156017

ADAMS. WILLIAM B & STREETER. ELLEN L  
C/O ADAMS. WILLIAM B  
820 MAIN ST./RTE 6A  
WEST BARNSTABLE. MA

Property ID: 156030

SPRENGELMEYER. ALISON MCCALLUM  
65 FOXWOOD COURT  
CHESHIRE. CT 06410

Property ID: 156031

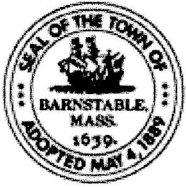
WHITE. SUSAN MEADE  
825 MAIN ST  
WEST BARNSTABLE. MA

02668

Property ID: 156032

EHRING. CHRISTOPHER L & KINNET A  
PO BOX 277  
IRVINGTON. VA 22480





**Town of Barnstable**  
**Old King's Highway Historic District Committee**  
200 Main Street, Hyannis, Massachusetts 02601  
Telephone (508) 862-4787, Email [grayce.rogers@town.barnstable.ma.us](mailto:grayce.rogers@town.barnstable.ma.us)



**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

Application is hereby made, with six (6) complete, colored sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Date 2-10-22 Map & Parcel 34B 33

Property Owner ANTHONY C. FELIX III Phone 774-281-0998

Street address 443 MARSTONS LANE Email LYNN4TONY@gmail.com

Village YUMMAQUID

Mailing address 443 MARSTONS LANE YARMOUTH PORT Signature Anthony C. Felix III

Agent/Contractor ANNE M. MICHNIEWICZ Phone 508-362-6466

Agent Address 2 HEARTHSTONE WAY E. SANDWICH MA. Email amichniewicz@hotmail.com

Agent Signature [Signature]

If approved, the Certificate of Appropriateness expires one year from the stamped approval date or upon the expiration of a Building Permit, whichever date shall be later. A one year extension may be requested, in writing, to the Old King's Highway Administrative Assistant at 200 Main Street, Hyannis, MA 02601. This request must be received prior to the date of expiration.

There is a 10 day appeal period plus a four day waiting period for all applications after which time your approval paperwork will be available for pickup and building permit sign-off. All applications are subject to meeting any applicable building code requirements.

Building Construction	<input type="checkbox"/> New Build	<input checked="" type="checkbox"/> Addition	Check all categories that apply		<input checked="" type="checkbox"/> Residential	<input type="checkbox"/> Commercial
Type of Building	<input type="checkbox"/> House	<input type="checkbox"/> Garage	<input type="checkbox"/> Barn	<input type="checkbox"/> Shed	<input type="checkbox"/> Other	
Project	<input type="checkbox"/> Roof	<input checked="" type="checkbox"/> Windows/Doors	<input type="checkbox"/> Siding/Painting	<input type="checkbox"/> Solar	<input type="checkbox"/> Other	
Landscape Feature	<input type="checkbox"/> Fence	<input type="checkbox"/> Wall	<input type="checkbox"/> Flag Pole	<input type="checkbox"/> Pool	<input type="checkbox"/> Other	
Signs	<input type="checkbox"/> New Sign	<input type="checkbox"/> Replace Sign	<input type="checkbox"/> Repaint Sign	<input type="checkbox"/> Other		

Description of Proposed Work 16x10' ADDITION w/ 4'x10' FARMERS PORCH

**DENIED**

for Committee use only This Certificate is hereby **APPROVED**

By a vote of Ave Nay Abstain Date \_\_\_\_\_

Members signatures \_\_\_\_\_

Conditions of Approval \_\_\_\_\_



# CERTIFICATE OF APPROPRIATENESS – SPEC SHEET

**CHIMNEY** Material Color

NA

**ROOF** Make & style Color

*Roof Pitch (s) – (7/12 minimum)* 9/12

MATCH EXISTING

*(specify on plans for new building & major additions)*

**GUTTER** Type/Material Color

ALUMINUM

WHITE

## WINDOWS, DOORS, TRIM, SHUTTERS, SKYLIGHTS

**Window/Door Trim material** Wood Other specify

AZEK

Size of cornerboards 1x8 Size of casings (1X4 min) 1x4 Color WHITE

Rakes 1<sup>st</sup> member 1x8 2<sup>nd</sup> Member 1x4 Depth of overhang 8"

**Windows:** Make/Model Material Color

ANDERSEN

VINYL

WHITE

**Window Grills** Divided Light Exterior Glued Grills Grills Between Glass

Removable Interior Grills No Grills Grill Pattern

**Doors:** Style & Make Material Color

9LT

FIBERGLASS

WHITE

**Garage doors:** Style Size of opening Material

NA

Color

**Shutters:** Type & Style Material Color

**Skylights:** Type Make & Model

NA

Material

Size

Color

**SIDING** Type Clapboard Shingle Other

Material Red Cedar White Cedar Other

*Paint Color* MATCH EXISTING

VINYL  
SHINGLES  
MATCH EXISTING

**FOUNDATION** Type 12" EXP (max 12' exposed)

POURED CONCRETE

**DECK** Material Color

AZEK

GRAY

**SIGNS** Size Materials Color

NA

**FENCE** Type Color

(split rail, chain link)

NA

Material

Length

**RETAINING WALL** Description

**LIGHTING** Type and location (free standing affixed to structure, illuminated)

RECESSED ON PORCH



# NEW BUILDINGS, ADDITION, OR COMMERCIAL BUILDING CHECKLIST – CERTIFICATE OF APPROPRIATENESS

*Submit Six (6) complete colored sets, unless otherwise noted*

## Application for Certificate of Appropriateness

Spec Sheet, brochures or diagram

### Site Plan

- ✓ Name of applicant, street location, map and parcel
- ✓ Name of architect, engineer, or surveyor; original stamp & signature; date of plan & revision dates
- ✓ North arrow, written and drawn to scale
- ✓ Changes to existing grades shown with one-foot contours
- ✓ Proposed & existing footprint of building and/or structures, and distance to lot lines
- ✓ Proposed driveway location
- ✓ Proposed limits of clearing for building (s), assessor structure (s), driveway and septic system
- ✓ Retaining walls or accessory structures (e.g. pool, tennis court, cabana, barn, garage, etc)

### Building Elevations

- ✓ Plans at scale of  $\frac{1}{4}'' = 1$  foot; a written drawn scale
- ✓ Plans at a reduced scale to fit 8.5"x11 or 11x17 paper
- ✓ Name of applicant, street location, map and parcel
- ✓ Name of Building Designer, or architect; original signature of plan preparer and stamp; plan date, and all revision dates.  
*\*All new house or commercial building plans must have an original signature and stamp, if any, by a registered Architect, member of AIBD, or a licensed Massachusetts Home Improvement Contractor, unless this requirement is waived by the Old King's Highway Historic District Committee.*
- ✓ A written and bar drawn scale
- ✓ Elevations of all (affected) sides of the building, with dimensions including height from the natural grade adjacent to the Building to the top of the ridge; location and elevation of finished grade, roof pitch (s) dormer setbacks; trim style, window And door styles. Changes to existing building must be clouded on drawings.
- ✓ Window schedule on plans

### Landscape Plan (drawn on a certified perimeter plan containing the following)

- ✓ Name of applicant, street address, assessor's map and parcel number
- ✓ Name, address, and telephone number of the plan preparer, plan date, & date of revisions
- ✓ The location of existing and proposed buildings and structures, and lot lines
- ✓ Natural features of site (i.e. rock outcroppings, streams, wetlands, etc)
- ✓ Existing buffer areas to remain
- ✓ Location and species of trees and plants
- ✓ Driveway, parking areas, walkways, and patios, indicating materials to be used
- ✓ Existing stone walls, and proposed walls including retaining walls for slope retention or septic systems  
*For removal of stone walls, you must file a demolition application*
- ✓ All proposed exterior lighting and signs

### Sketch or Photos of adjacent properties

- ✓ A sketch (s) to scale or photographs of nearby adjacent buildings, where present, along both sides of the street frontage, Showing the proposed new house or commercial building in scale and in relationship to the existing buildings.  
*Please discuss with staff if you do not think this is relevant to your application.*

### Photographs of all sides of existing buildings to remain or being added to

#### Existing building, foot print

Building 1 (sq. ft.) 2,744 Building 2 (sq. ft.) \_\_\_\_\_

#### Existing building, gross floor area, including area of finished basement

Building 1 (sq. ft.) 2,744 Building 2 (sq. ft.) \_\_\_\_\_

#### New Building or addition, foot print

Building 1 (sq. ft.) 200 sq ft Building 2 (sq. ft.) \_\_\_\_\_

#### New Building or addition, gross floor area, including area of finished basement

Building 1 (sq. ft.) 200 sq ft Building 2 (sq. ft.) \_\_\_\_\_

Plan preparer, signature and date

*Gene M. Wilby* 2-10-22



# CHECKLIST – CERTIFICATE OF APPROPRIATENESS

*Please complete the Checklist that is applicable to your project.*

*Submit six (6) complete colored sets, unless otherwise noted*

## FEES

- ✓ ☐ **Filing Fee** according to fee schedule, please make checks payable to the Town of Barnstable
- ✓ ☐ **Legal Ad fee**, in the amount of **\$19.84**, made payable to the Town of Barnstable
- ✓ ☐ **First Class Postage Stamps** for abutter notification. Please contact Barnstable Old King's Highway Office for correct count

## ALTERATIONS *(new paint color, change of siding material, roofing, windows, doors, shutters, etc)*

- ✓ ☐ **Application for Certificate of Appropriateness**
- ✓ ☐ **Spec Sheet**, brochures and color samples
- ✓ ☐ Plans of building elevations/photographs, ONLY if there is a change to the location and size of the window (s) or Door (s).

## MINOR ADDITIONS *(decks, enclosing a porch, sheds (over 120 sqft)*

- ✓ ☐ **Application for Certificate of Appropriateness**,
- ✓ ☐ **Spec Sheet**, brochures and color samples
- ✓ ☐ **Site Plan**, ONLY if there are changes to the footprint *(see site plan criteria below)*
  - ✓ A site plan drawn on a mortgage survey plan or GIS map may be used for minor additions, UNLESS the porch, deck, pool, or Shed etc. is close to lot lines, zoning setback lines, or other buildings, in which case a certified site plan must be submitted
- ✓ ☐ **Photographs** of all building elevation affected by any proposed alterations
- ✓ ☐ **Plans** 2 full scale plans, plus 4 copies of the plan at reduced scale to fit 8.5x11 or 11x17 paper
  - ✓ Company brochure of manufacturers shed or to-scale sketch **or** affected structure or building elevations

## ASSESSORY STRUCTURES, NEW/ALTERED *(fences, new stonewalls, changes to retaining walls, pools etc)*

- ✓ ☐ **Application for Certificate of Appropriateness**
- ✓ ☐ **Spec Sheet**, brochures &/or diagram
- ✓ ☐ **Site Plan** *(see site plan criteria below)*
- ✓ ☐ **Photographs** of any existing structure that will be affected by the change

## SIGNS *(complete sign supplement)*

- ✓ ☐ **Rendering** of the proposed sign, showing graphics, dimensions, design and height of post, color, and materials
- ✓ ☐ **Site Plan** on GIS map or mortgage survey, or photographs, or to-scale sketch of building elevation showing location of Proposed sign; and any tree to be removed near a freestanding sign *(see below for site plan criteria)*

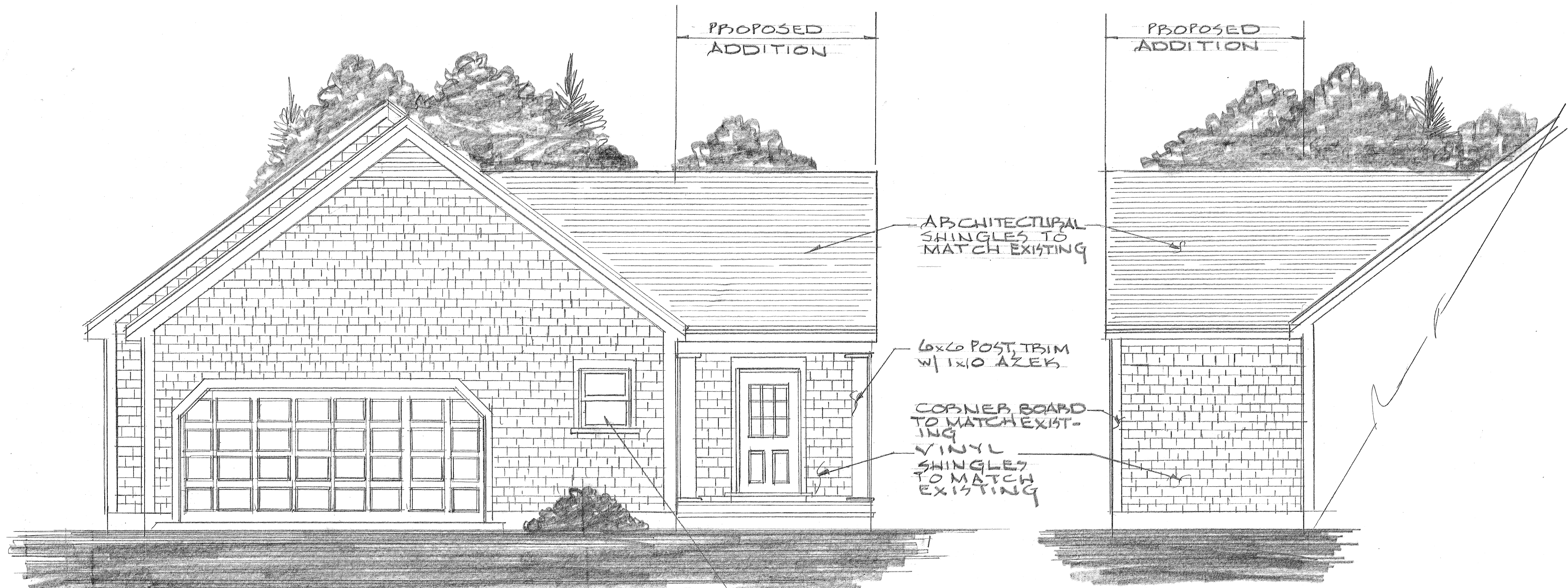
## SOLAR PANELS *(complete solar panel supplement)*

- ✓ ☐ **Drawing** of locations of panels on house showing roof and panel dimensions
- ✓ ☐ **Site Plan** showing location of building on property *(see site plan criteria below)*

## SITE PLAN CRITERIA

- ✓ ☐ Name of applicant, street location, map and parcel
- ✓ ☐ Name of architect, engineer, or surveyor; original stamp & signature; date of plan & revision dates
- ✓ ☐ North arrow, written and drawn to scale
- ✓ ☐ Changes to existing grades shown with one-foot contours
- ✓ ☐ Proposed & existing footprint of building and/or structures, and distance to lot lines
- ✓ ☐ Proposed driveway location
- ✓ ☐ Proposed limits of clearing for building (s), assessor structure (s), driveway and septic system
- ✓ ☐ Retaining walls or accessory structures (e.g. pool, tennis court, cabana, barn, garage, etc)

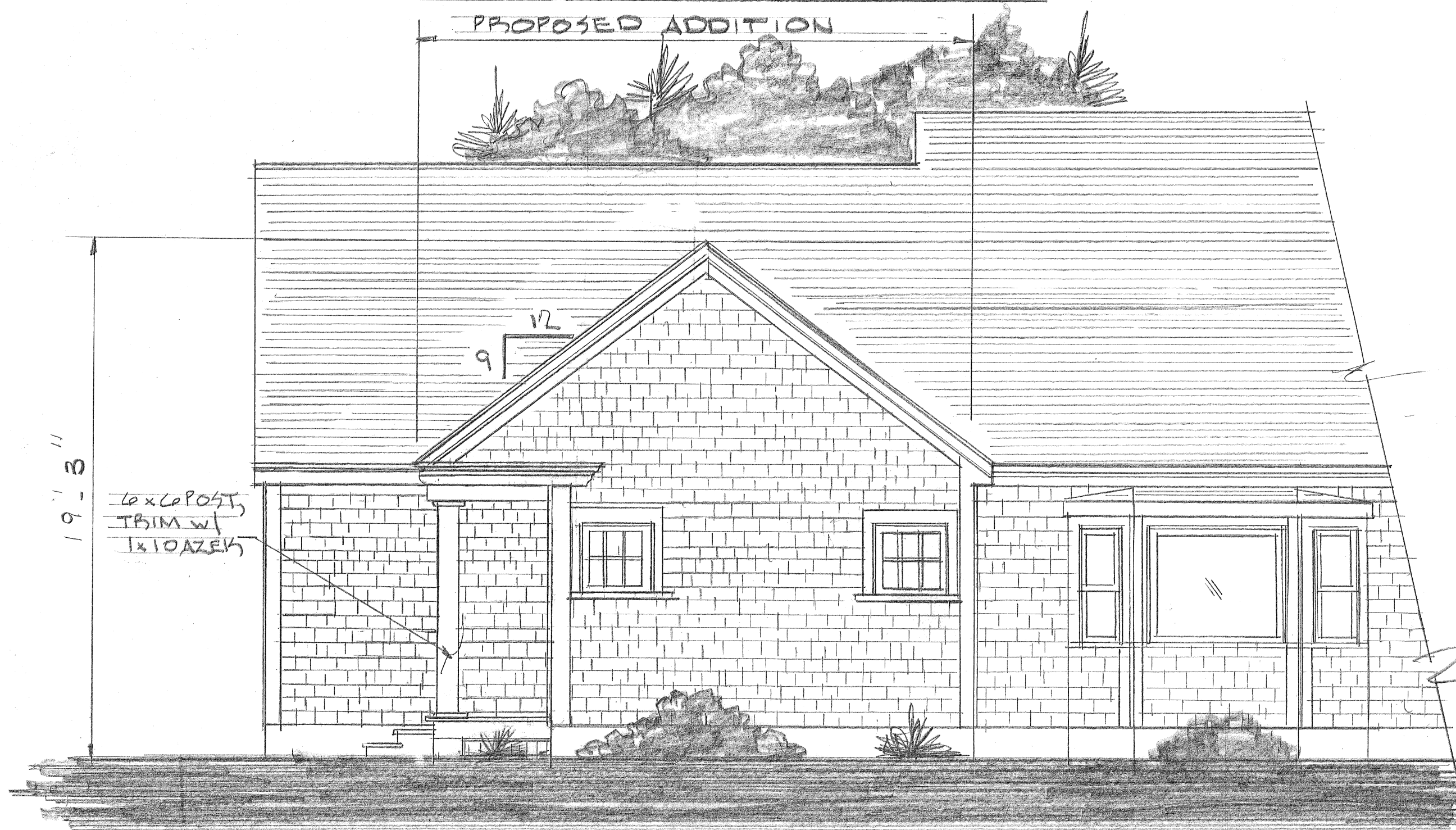




RIGHT ELEVATION

LEFT ELEVATION

SCALE 1/4" = 1'-0"



REAR ELEVATION

0 1 2 3 4 5 6 7  
 SCALE 1/4" = 1'-0"

348-33

PROPOSED ADDITION TO  
 DEVANEY-FELIX RESIDENCE  
 443 MARSTON'S LANE  
 BARNSTABLE, MASSACHUSETTS

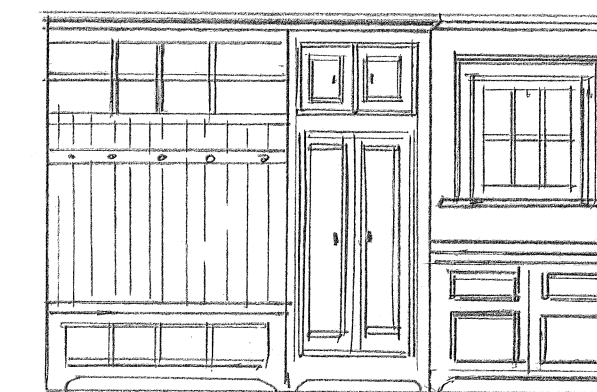
ELEVATIONS

DRAWN BY  
 A. M. MIZHNIEWICZ

DATE 12-21

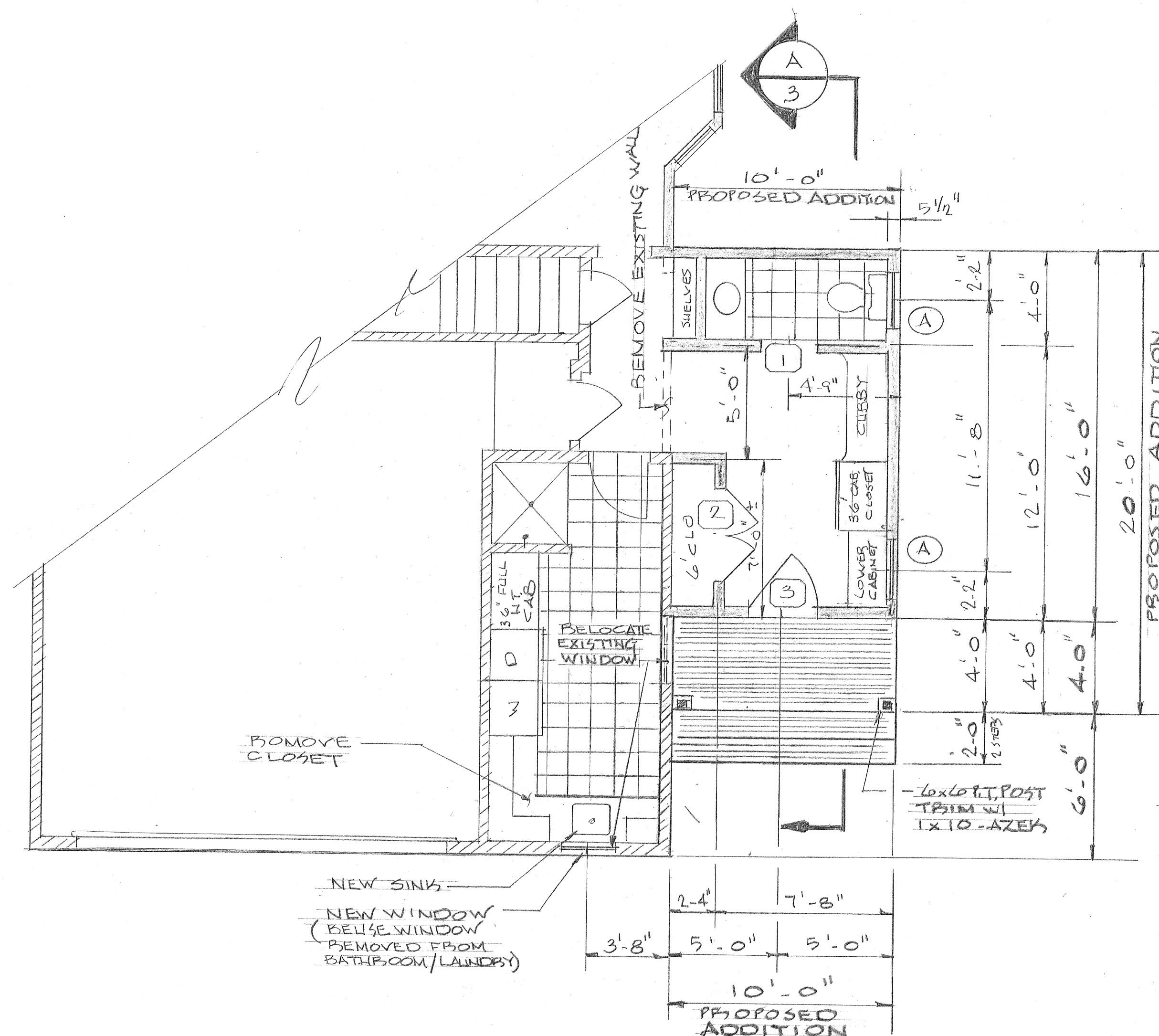
DWG NO  
 1





# CUBBIE - CABINET LAYOUT

SCALE 1/4" = 1'-0"



## NOTES

1. ALL CONSTRUCTION SHALL BE IN CONFORMANCE W/ THE MASSACHUSETTS STATE BUILDING CODE 9TH EDITION, IBC 2015 AND ALL LOCAL TOWN CODES
2. ALL DIMENSIONS SHALL BE VERIFIED BY THE OWNERS AND THE GENERAL CONTRACTOR PRIOR TO THE START OF CONSTRUCTION
3. INDICATES EXISTING  
 INDICATES NEW CONSTRUCTION  
 INDICATES TO BE REMOVED

## FLOOR PLAN

SCALE 1/4" = 1'-0"

PROPOSED ADDITION TO  
DEVANEY - FELIX RESIDENCE  
443 MARSTONS LANE  
BARNSTABLE, MASSACHUSETTS

## FLOOR PLAN

DRAWN BY  
A. M. MICHNIEWICZ

DATE 12-21

DWG NO

2



22



- ZONE: RF-1

ZONE. RF-1

**SETBACKS:**  
Front: 30  
Side: 15'  
Rear: 15'

PL. BK. 361 PG. 73



109.03  
MARSTONS  
PLAN OF LAND  
SHOWING PROPOSED ADDITION  
IN  
BARNSTABLE (CUMMAQUID), MA

LYNN A. DEVANEY &  
ANTONE C. FELIX III

443 MARSTONS LANE

SCALE: 1"=20' OCT. 21, 2021

TERRY A. WARNER, P.L.S.

22 LONG ROAD  
HARWICH, MA. 02645  
(508) 432-8309

Project No. 21-241









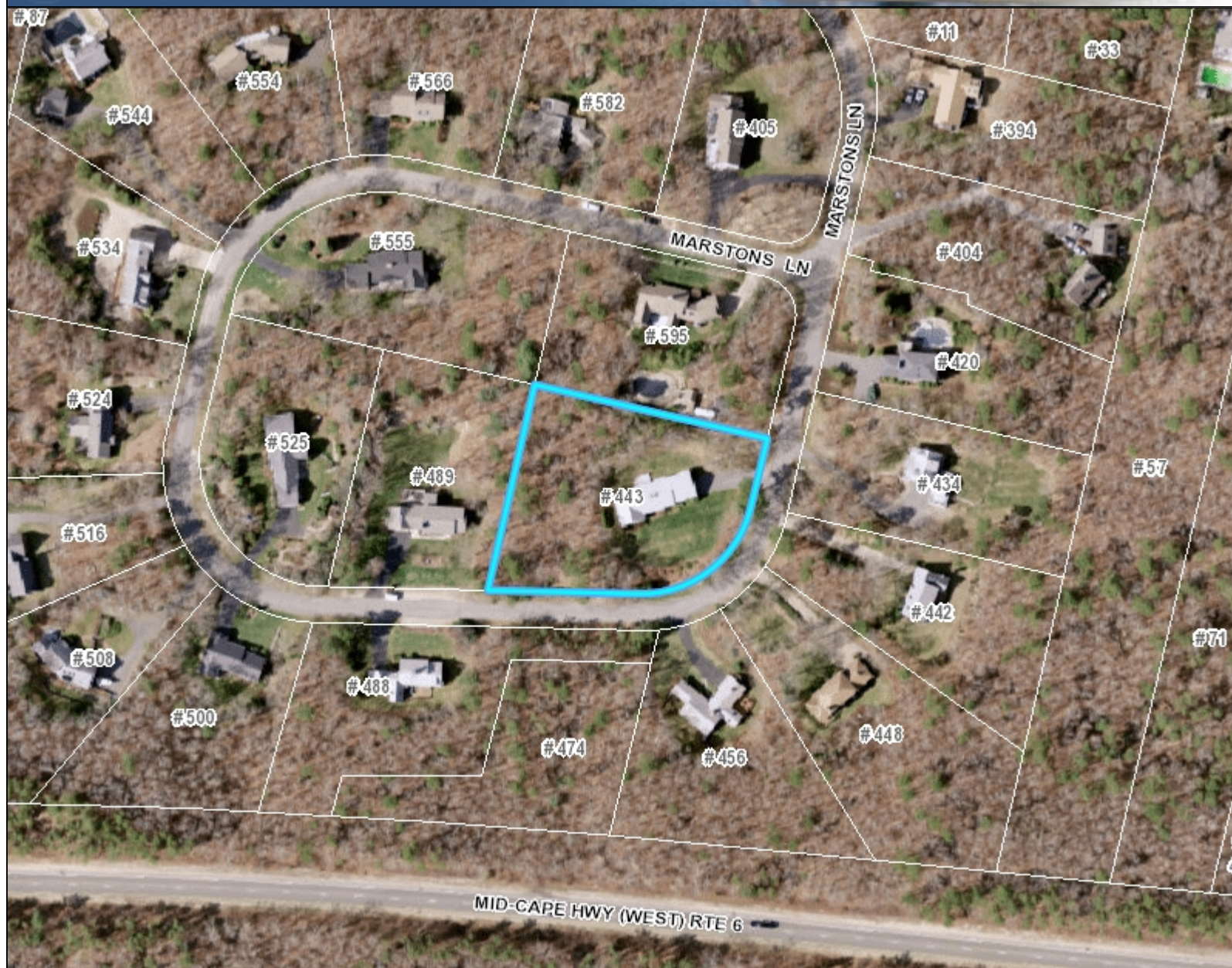












Map printed on: 3/3/2022

0 167 333 Feet

Approx. Scale: 1 inch = 167 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



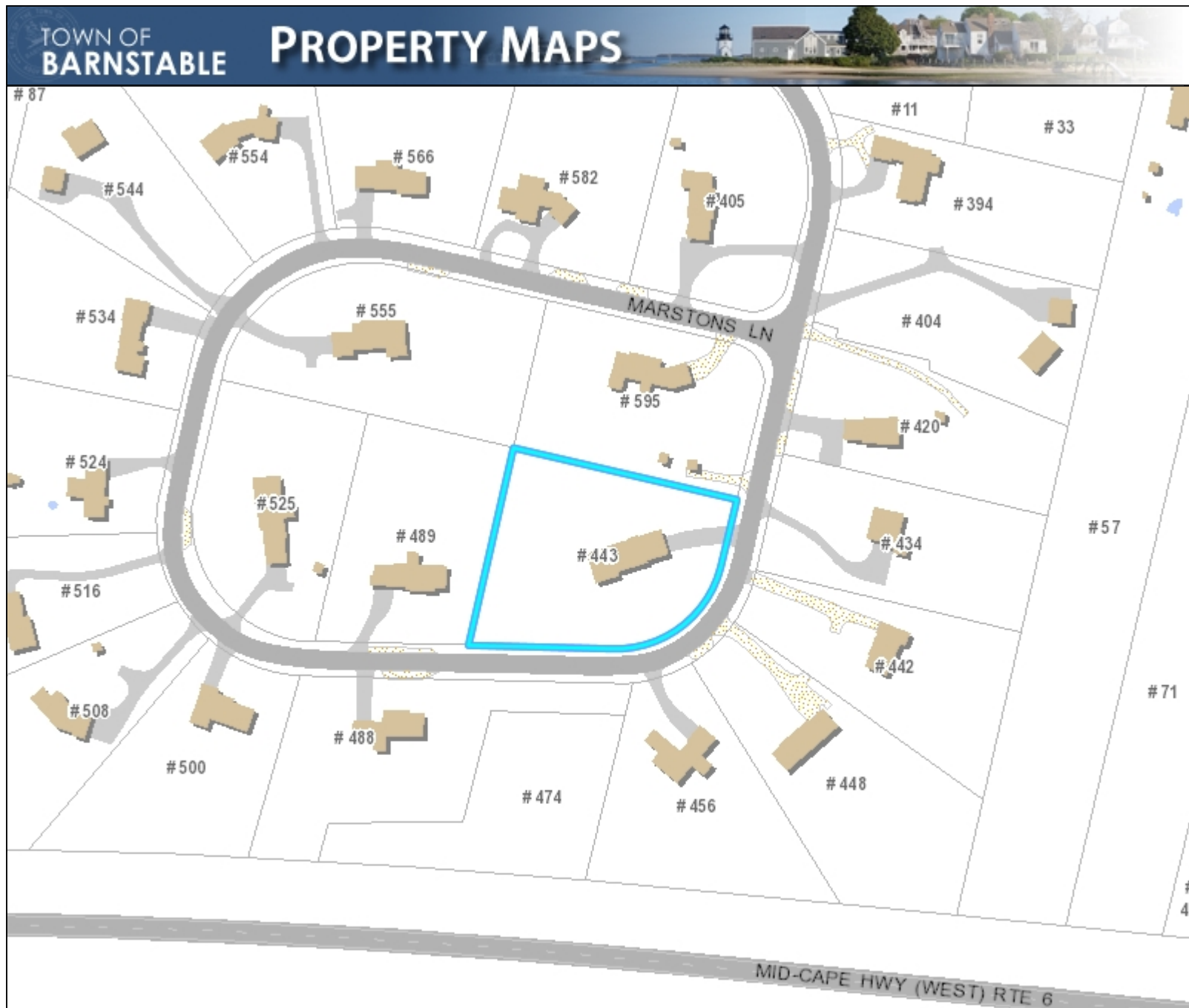
Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



**Legend**

- Parcels
- Town Boundary
- + Railroad Tracks
- Buildings
  - Approx. Building
  - Buildings
- Painted Lines
- Parking Lots
  - Paved
  - Unpaved
- Driveways
  - Paved
  - Unpaved
- Roads
  - Paved Road
  - Unpaved Road
- Bridge
  - Bridge
- Paved Median
  - Paved Median
- Streams
- Marsh
- Water Bodies

Map printed on: 3/3/2022

0 167 333 Feet

Approx. Scale: 1 inch = 167 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.

**Town of Barnstable GIS Unit**

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



Property ID: 348021

CORRIVEAU. CLAUDE R & LUCILLE  
PO BOX 284  
YARMOUTH PORT. MA 02675

Property ID: 348022

BOLTON. JOANNE L TR  
JOANNE L BOLTON REVOCABLE TRUST  
442 MARSTONS LANE  
CUMMAQUID. MA 02637

Property ID: 348023

MARICHAL. JUAN & SVETLANA  
182 PITCHERS WAY  
HYANNIS. MA 02601

Property ID: 348024

FALLS. ARLINE J  
PO BOX 324  
CUMMAQUID. MA 02637

Property ID: 348025

CHABOT. GARY A & COGGIN. ELINOR L  
P O BOX 357  
CUMMAQUID. MA 02637

Property ID: 348032

DOYLE. FRANCIS E &  
BAXTER-MORAN. ALVINA TRS  
PO BOX 620  
WEST HYANNISPORT. MA 02672

Property ID: 348033

FELIX. ANTONE C III & DEVANEY. LYNN A  
443 MARSTONS LANE  
YARMOUTH PORT. MA 02675

Property ID: 348034

NAKACHI. CHRISTIE A  
489 MARSTONS LANE  
CUMMAQUID. MA 02637



←

Parcel: 348-033

Location: 443 MARSTONS LANE, Barnstable

Owner: FELIX, ANTONE C III & DEVANEY, LYNN A



Parcel 348-033	Developer lot: LOT 27	Secondary road
Location 443 MARSTONS LANE	Road type Private	Road index 0989
Village Barnstable	Fire district Barnstable	Interactive map 
Town sewer account No	Property Record Card <a href="#">Property Record Card PDF File</a>	
CWMP Sewer Expansion (subject to change with final engineering design) None planned at this time		

Asbuilt septic scan  
[348033\\_1](#) , [348033\\_2](#) , [348033\\_3](#)

▼\_Owner: FELIX, ANTONE C III & DEVANEY, LYNN A

Owner FELIX, ANTONE C III & DEVANEY, LYNN A	Co-Owner	Book page 33275/0130
Street1 443 MARSTONS LANE	Street2	Street3
City YARMOUTH PORT	County	State Zip Country MA 02675

▼\_ Land

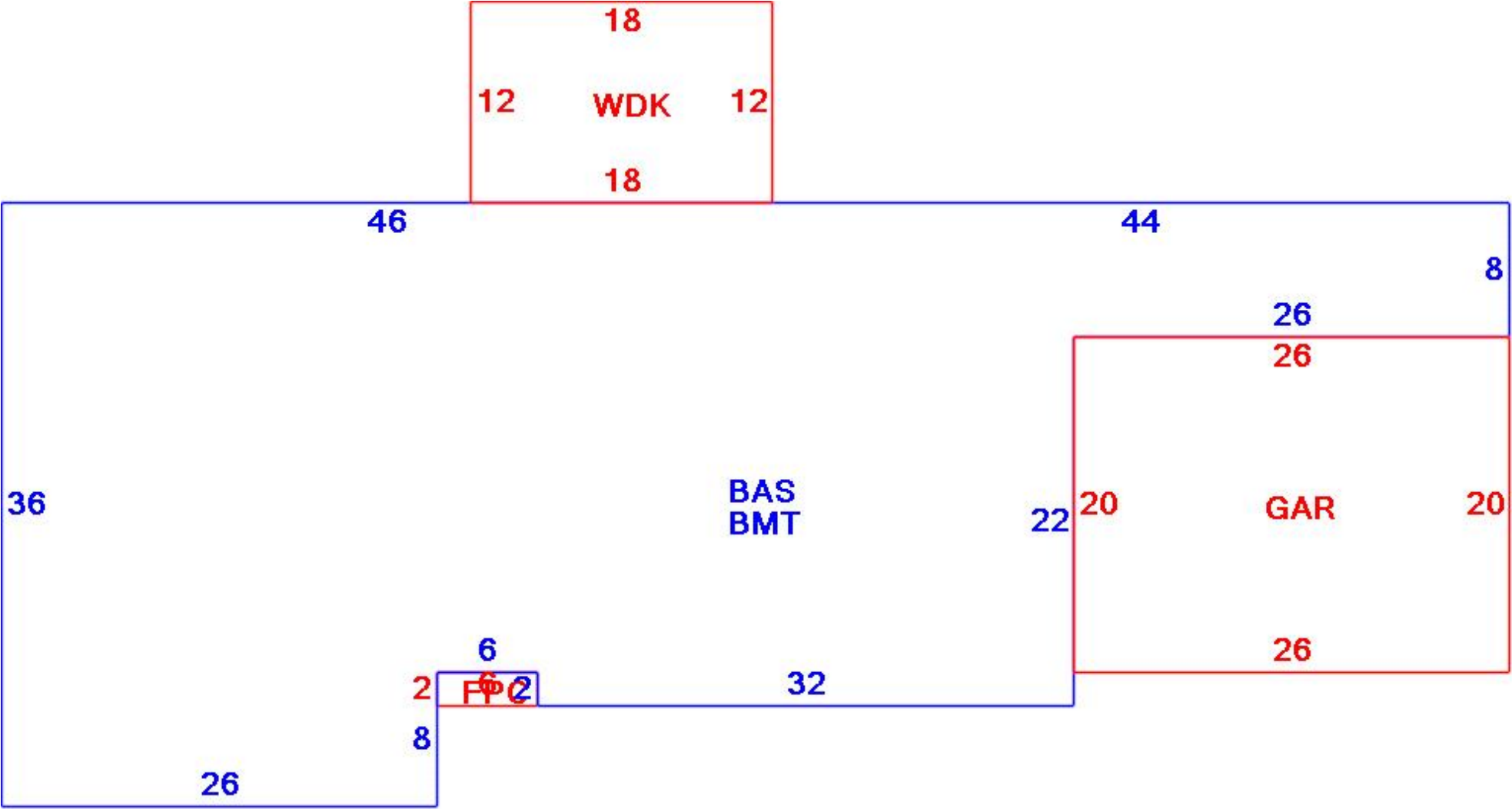
Acres 1.25	Use Single Fam M-01	Zoning RF-1	Neighborhood 0106
Topography Level	Street factor Paved	Town Zone of Contribution GP (Groundwater Protection Overlay District)	
Utilities Public Water,Gas,Septic	Location factor	State Zone of Contribution IN	

▼\_ Construction

▼\_ Building 1 of 1

Year built 1985	Roof structure Gable/Hip	Heat type Hot Air
Living area 2272	Roof cover Asph/F Gls/Cmp	Heat fuel Gas
Gross area 5292	Exterior wall Wood Shingle, Vinyl Siding	AC type None
Style Ranch	Interior wall Drywall	Bedrooms 3 Bedrooms
Model Residential	Interior floor Carpet, Hardwood	Bath rooms 2 Full-1 Half
Grade Average Plus	Foundation	Total rooms 7 Rooms
Stories 1		





Permit History

Issue Date	Purpose	Permit Number	Amount	InspectionDate	Comments
10/14/2021	Sid/Wind/Roof/Door	EXPR-21-1259	\$14,800		Removal of existing vinyl siding and trim and replacement with Certainteed Cedar Impressions shingle siding
07/01/2019	Sid/Wind/Roof/Door	19-2126	\$10,183		Same for same, replacing 1 sash set fixed u factor 0.28, 1 casement window u factor 0.25, 1 double hung window u factor 0.29, 2 sash set fixed window 0.27, 2 casement windows u factor 0.28 No structural changes
05/24/2018	Sid/Wind/Roof/Door	18-1645	\$9,390		5 Replacement Windows - Like for Like - No change to Header
05/02/1985	Dwelling	B27909	\$100,000	01/15/1986	BA 1 STOR
05/01/1985	Dwelling	B27909A	\$0	01/15/1986	BA 1 STOR

Sale History

Line	Sale Date	Owner	Book/Page	Sale Price
1	09/18/2020	FELIX, ANTONE C III & DEVANEY, LYNN A	33275/0130	\$521,500
2	05/20/2019	BOURGET, C & BLAKE, C & BLAKE, M TRS	32031/0223	\$0
3	11/24/2014	KOTOMSKI, EDNA E TR	28528/0200	\$100
4	09/14/2009	KOTOMSKI, EDNA E	24031/0166	\$0
5	02/15/1986	KOTOMSKI, JOSEPH T & EDNA E	4921/0285	\$251,583
6	04/15/1985	SILIPO, JOSEPH G TR	4499/0253	\$1
7	01/15/1984	COBBLESTONE HOME IMP CORP	3996/0141	\$35,000
8	03/15/1982	TILLMAN, EDNA V	3444/0155	\$0

Assessment History

Save #	Year	Building Value	XF Value	OB Value	Land Value	Total Parcel Value
1	2022	\$389,900	\$67,300	\$3,000	\$146,800	\$607,000
2	2021	\$305,600	\$68,100	\$3,000	\$146,800	\$523,500
3	2020	\$296,100	\$60,200	\$2,600	\$156,900	\$515,800
4	2019	\$254,300	\$60,900	\$2,800	\$156,900	\$474,900
5	2018	\$100,000	\$60,000	\$2,000	\$172,100	\$435,700



Save #	2010 Year	\$199,000 Building Value	\$60,900 XF Value	\$2,900 OB Value	\$172,100 Land Value	\$433,100 Total Parcel Value
6	2017	\$185,300	\$62,800	\$2,800	\$172,100	\$423,000
7	2016	\$185,300	\$62,800	\$2,800	\$172,200	\$423,100
8	2015	\$172,200	\$57,500	\$3,900	\$165,200	\$398,800
9	2014	\$172,200	\$57,500	\$4,000	\$165,200	\$398,900
10	2013	\$172,200	\$57,500	\$4,100	\$215,400	\$449,200
11	2012	\$172,200	\$56,600	\$3,200	\$211,200	\$443,200
12	2011	\$233,100	\$4,700	\$0	\$211,200	\$449,000
13	2010	\$233,100	\$4,700	\$0	\$204,400	\$442,200
14	2009	\$258,700	\$3,400	\$0	\$204,400	\$466,500
15	2008	\$308,100	\$3,400	\$0	\$218,900	\$530,400
17	2007	\$306,100	\$3,400	\$0	\$218,900	\$528,400
18	2006	\$286,700	\$3,400	\$0	\$236,900	\$527,000
19	2005	\$261,300	\$3,400	\$0	\$217,800	\$482,500
20	2004	\$212,100	\$3,400	\$0	\$189,400	\$404,900
21	2003	\$205,100	\$3,400	\$0	\$85,000	\$293,500
22	2002	\$205,100	\$3,400	\$0	\$85,000	\$293,500
23	2001	\$205,100	\$3,400	\$0	\$85,000	\$293,500
24	2000	\$162,600	\$3,300	\$0	\$73,200	\$239,100
25	1999	\$162,600	\$3,300	\$0	\$73,200	\$239,100
26	1998	\$162,600	\$3,300	\$0	\$73,200	\$239,100
27	1997	\$175,500	\$0	\$0	\$50,600	\$226,100
28	1996	\$175,500	\$0	\$0	\$50,600	\$226,100
29	1995	\$175,500	\$0	\$0	\$50,600	\$226,100
30	1994	\$154,100	\$0	\$0	\$85,100	\$239,200
31	1993	\$154,100	\$0	\$0	\$86,100	\$240,200
32	1992	\$175,200	\$0	\$0	\$101,300	\$276,500
33	1991	\$176,600	\$0	\$0	\$112,600	\$289,200
34	1990	\$176,600	\$0	\$0	\$112,600	\$289,200
35	1989	\$176,600	\$0	\$0	\$112,600	\$289,200
36	1988	\$148,600	\$0	\$0	\$49,700	\$198,300
37	1987	\$148,600	\$0	\$0	\$49,700	\$198,300
38	1986	\$0	\$0	\$0	\$43,000	\$43,000

Photos





